

Hixon – Applications within the Settlement Boundaries

Number	Location	Application Number	Decision	Decision Notice	Location Plan
1	Land North Of Hall Farm Close, Hall Farm Close, Hixon	14/20072/OUT	Approved	Yes	Location Plan 1:1250
2	Land Between Chase View Farm And Almondbury, Puddle Hill, Hixon	13/19764/OUT	Approved	Yes	LOCATION PLAN SCALE 1:1250
3	Land Adjacent To Yew Tree House, Egg Lane, Hixon	14/20711/OUT	Approved	Yes	SA14859/01
4	Land Adjacent To 24 The Croft Off (site 2), Church Lane, Hixon	14/20548/FUL	Approved	Yes	1680/06A
5	Land Adjacent New Road, Hixon, Stafford	14/21267/REM 13/19249/OUT	Approved Approved	Yes Yes	SL-P-01 12L76PO2 rev E
6	Chase View Farm, Puddle Hill, Hixon, Stafford	14/20291/OUT	Approved	Yes	DP253/PH1-BBB



Moreton Developments Limited
C/O Horsley Sparrow Consultancy Ltd
24 Shaw Street
Newcastle-under-Lyme
Staffordshire
ST5 2DB

Date Registered 13 March 2014
Decision Date 26 September 2014
Issued Date 26 September 2014

FAO Mr David Breakwell

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

Application No: 14/20072/OUT
Proposed Development: Erection of twelve dwellings (outline)
Location: Land North Of Hall Farm Close Hall Farm Close Hixon
O. S. Reference: 400141 326166

Stafford Borough Council, in pursuance of powers under the Town and Country Planning Act, hereby permits the above development in accordance with the accompanying plans and subject to the following conditions :-

1. Application for approval of the reserved matters shall be made to the Local Planning Authority before the expiration of two years from the date of this permission.
2. This is a grant of outline consent only and before the development is commenced details of the access, appearance, layout, scale and landscaping of the site, (the reserved matters) shall be submitted to and approved in writing by the Local Planning Authority.
3. The development hereby permitted shall be begun before the expiration of two years from the date of approval of the last of the reserved matters to be approved.
4. This permission relates to the originally submitted details and specification and to the 1:1250 scale Location Plan (February 2014) and 1:500 scale Site Plan (February 2014) except where indicated otherwise by a condition attached to this consent, in which case the condition shall take precedence.



Moreton Developments Limited
C/O Horsley Sparrow Consultancy Ltd
24 Shaw Street
Newcastle-under-Lyme
Staffordshire
ST5 2DB

Date Registered 13 March 2014
Decision Date 26 September 2014
Issued Date 26 September 2014

FAO Mr David Breakwell

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

5. Notwithstanding any other conditions to which this planning permission is subject, no development shall be commenced unless or until details of the access to the site through the existing public open space land, which has been included within the application site for that purpose, have been submitted to and approved in writing by the local planning authority. Following such approval no development, other than the access, may be commenced until the said access has been constructed and laid out in accordance with the approved details.
6. Landscaping details to be submitted in pursuance of Conditions 1 and 2 shall include full details of both hard and soft landscaping works and these works shall subsequently be carried out as approved. These details shall include (proposed finished levels or contours; means of enclosure; car parking layouts; other vehicle and pedestrian access and circulation areas; hard surfacing materials; minor artefacts and structures (e.g. furniture, play equipment, refuse or other storage units, signs, lighting etc.); proposed and existing functional services above and below ground (e.g. drainage and sewers, power and communication cables, pipelines etc. indicating lines, manholes supports etc.); retained historic landscaping features and proposals for restoration, where relevant).



Moreton Developments Limited
C/O Horsley Sparrow Consultancy Ltd
24 Shaw Street
Newcastle-under-Lyme
Staffordshire
ST5 2DB

Date Registered 13 March 2014
Decision Date 26 September 2014
Issued Date 26 September 2014

FAO Mr David Breakwell

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

Soft landscape works shall include (planting plans; written specifications (including cultivation and other operations associated with plant and grass establishment); schedules of plants, noting species, plant sizes and proposed numbers/densities where appropriate; implementation programme). Any plants or trees that are removed or die or become seriously damaged or diseased within a period of 5 years from the date of planting shall be replaced with others of similar size and species in the next planting season, unless the local planning authority gives written consent to any variation.

7. No development shall take place until details of earthworks have been submitted to and approved in writing by the local planning authority. These details shall include the proposed grading and mounding of land areas including the levels and contours to be formed, showing the relationship of proposed mounding to existing vegetation and surrounding landform. Development shall be carried out in accordance with the approved details unless the local planning authority gives written consent to any variation.
8. No trees, large shrubs or hedgerows shall be uprooted, felled, lopped, topped, or cut back in any way until a scheme has been approved that specifically allows such works. The works shall then take place in accordance with the agreed scheme unless the local planning authority gives written consent to any variation.
9. In this condition "retained tree" means an existing tree which is to be retained in accordance with the approved plans and particulars; and paragraphs (a) and (b) below shall have effect until the expiration of 5 years from the date of the occupation of the building for its permitted use.



Moreton Developments Limited
C/O Horsley Sparrow Consultancy Ltd
24 Shaw Street
Newcastle-under-Lyme
Staffordshire
ST5 2DB

Date Registered 13 March 2014
Decision Date 26 September 2014
Issued Date 26 September 2014

FAO Mr David Breakwell

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

(a) No retained tree shall be cut down, uprooted or destroyed, nor shall any retained tree be topped or lopped other than in accordance with the approved plans and particulars, without the written approval of the local planning authority. Any topping or lopping approved shall be carried out in accordance with British Standard BS 3998:2010 Tree Work.

(b) If any retained tree is removed, uprooted or destroyed or dies, another tree shall be planted at the same place and that tree shall be of such size and species, and shall be planted at such time, as may be specified in writing by the local planning authority.

(c) The erection of fencing for the protection of any retained tree shall be undertaken in accordance with the approved plans and particulars before any equipment, machinery or materials are brought on to the site for the purposes of the development, and shall be maintained until all equipment, machinery and surplus materials have been removed from the site. Nothing shall be stored or placed in any area fenced in accordance with this condition and the ground levels within those areas shall not be altered, nor shall any excavation be made, without the written consent of the local planning authority.



Moreton Developments Limited
C/O Horsley Sparrow Consultancy Ltd
24 Shaw Street
Newcastle-under-Lyme
Staffordshire
ST5 2DB

Date Registered 13 March 2014
Decision Date 26 September 2014
Issued Date 26 September 2014

FAO Mr David Breakwell

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

10. All trees, shrubs, hedges and bushes which are to be retained in accordance with the approved plans and particulars shall be protected in accordance with an with the BS 5837: 2012 "Trees in Relation to design, demolition and construction" recommendations for tree protection. This shall include establishing a Root Protection Area (RPA) around each tree, shrub, hedgerow or bush, in accordance with the recommendations of BS 5837: 2012. All RPAs must be enclosed by suitable fencing, as specified by BS 5837: 2012 or as agreed in writing with the local authority or, where specifically approved, protected using ground protection measures to the satisfaction of the local planning authority. No works or alterations to existing ground levels or surfaces shall be undertaken within the RPAs without the prior written approval of the local planning authority. No materials, equipment or vehicles are to enter or be stored within the RPAs. No materials that are likely to have an adverse effect on tree health such as oil, bitumen or cement will be stored or discharged within the RPAs. No fires will be lit within 20 metres of the trunk of any tree that is to be retained. All tree protection measures shall be agreed in writing with the local planning authority and their installation undertaken before any equipment, machinery or materials are brought on to the site for the purposes of the development, and shall be maintained until all equipment, machinery and surplus materials have been removed from the site.



Moreton Developments Limited
C/O Horsley Sparrow Consultancy Ltd
24 Shaw Street
Newcastle-under-Lyme
Staffordshire
ST5 2DB

Date Registered 13 March 2014
Decision Date 26 September 2014
Issued Date 26 September 2014

FAO Mr David Breakwell

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

11. Details to be submitted in pursuance of Conditions 1 and 2 shall include a 2733 square metres area of Public Open Space along the western boundary of the site, including details of a timescale for its provision. The open space area shall subsequently be provided in accordance with the approved details and thereafter retained for such purpose and no walls fences or other means of enclosure shall be erected on or around any part of the open space area.
12. Access details to be submitted in pursuance of Condition 1 and 2 shall include details of appropriate visibility splays.
13. Prior to the commencement of development details of provision for parking, turning and servicing within the site, means of surface water drainage and of surfacing materials shall be submitted to and approved in writing by the local planning authority. The development shall thereafter be implemented in accordance with the approved details.
14. Prior to the commencement of development full details of proposed site levels to include plot levels and road levels including the relationship between the proposed roadway with existing retained open space to the west and with the driveway serving numbers 2 - 12 Hall Farm Close to the south and east shall be submitted to and approved in writing by the local planning authority.



Moreton Developments Limited
C/O Horsley Sparrow Consultancy Ltd
24 Shaw Street
Newcastle-under-Lyme
Staffordshire
ST5 2DB

Date Registered 13 March 2014
Decision Date 26 September 2014
Issued Date 26 September 2014

FAO Mr David Breakwell

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

15. Prior to the commencement of development full details shall be submitted to and approved in writing of the height, type and position of all site and plot boundary walls, retaining walls, fences and other means of enclosure to be erected on the site. These shall include details of acoustic fences to be erected on all parts of the site adjoining or directly facing boundaries with the Hixon Airfield Estate to the west and north of the application site.
16. The approved acoustic fences shall be erected prior to the first occupation of any dwelling with other walls and or fences to be erected within one month of the dwellings being occupied. Once provided all fences and walls erected in pursuance of this condition shall thereafter be retained.
17. No development shall be commenced until an appropriate intrusive site investigation has been undertaken in accordance with the recommendations contained in Section 4.0 Recommendations for Further Work contained in the Phase 1 Land Quality Assessment undertaken by Hydrock Consultants Limited (Reference R/13577/001 dated September 2013), which was submitted as part of the planning application and until the results of the survey which shall include details identifying any remedial measures necessary have been submitted to and approved in writing by the local planning authority. Any remedial works necessary shall be undertaken in accordance with the approved details prior to the first occupation of any dwelling.
18. Any trenches or excavations that are left overnight shall be provided with a means of escape.



Moreton Developments Limited
C/O Horsley Sparrow Consultancy Ltd
24 Shaw Street
Newcastle-under-Lyme
Staffordshire
ST5 2DB

Date Registered 13 March 2014
Decision Date 26 September 2014
Issued Date 26 September 2014

FAO Mr David Breakwell

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

19. Works shall not be undertaken in the bird nesting season (March to August) unless it can be demonstrated that breeding birds will not be affected, through the submission, approval in writing by the local planning authority and subsequent implementation in accordance with the approved details of a method statement for the protection/avoidance of nesting birds. This may include timing of work, pre-work checks, avoiding nesting areas.
20. All site works and construction together with deliveries to the site shall only take place between the hours of 08.00 and 18.00 on Mondays to Fridays inclusive and between 08.00 and 14.00 on Saturdays and not at all on Sundays or Bank Holidays. In addition delivery vehicles shall not park on the access highways to the site and any equipment that must be left running outside the permitted hours of work shall be inaudible at the boundary of occupied residential properties.
21. During the development there shall be no burning on site, with dust suppression and road sweeping carried out as necessary.

The reasons for the Council's decision to grant permission for the development subject to the above conditions are:

1. The time limit condition is imposed in order to comply with the requirements of Section 91 of the Town and Country Planning Act 1990.
2. The application has been made for outline permission only.
3. The time limit condition is imposed in order to comply with the requirements of Section 91 of the Town and Country Planning Act 1990.



Moreton Developments Limited
C/O Horsley Sparrow Consultancy Ltd
24 Shaw Street
Newcastle-under-Lyme
Staffordshire
ST5 2DB

Date Registered 13 March 2014
Decision Date 26 September 2014
Issued Date 26 September 2014

FAO Mr David Breakwell

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

4. To define the permission.
5. To ensure that the development hereby approved can be implemented.
6. To enhance the appearance of the development. (Policies N1 (g) and (h) of The Plan for Stafford Borough).
7. In the interests of amenity and to ensure a satisfactory form of development. (Policy N1 (e), (g) and (h) of The Plan for Stafford Borough).
8. To enable the local planning authority to consider the scheme of development and the landscaping proposals in relation to the existing trees and hedges. (Policies N1 (h) and N4 (c) of The Plan for Stafford Borough).
9. To safeguard the amenities of the local area and to protect the natural features that contribute towards this and that are important in the appearance of the development. (Policies N1 (h) and N4 (c) of The Plan for Stafford Borough).
10. To safeguard the amenities of the local area and to protect the natural features that contribute towards this and that are important in the appearance of the development. (Policies N1 (h) and N4 (c) of The Plan for Stafford Borough).
11. To ensure the provision of public open space facilities for the benefit of residents of the proposed dwellings and for existing residents of Hall Farm Close and Vicarage Way. (Policy C7 of The Plan for Stafford Borough).



Moreton Developments Limited
C/O Horsley Sparrow Consultancy Ltd
24 Shaw Street
Newcastle-under-Lyme
Staffordshire
ST5 2DB

Date Registered 13 March 2014
Decision Date 26 September 2014
Issued Date 26 September 2014

FAO Mr David Breakwell

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

12. In the interests of the safety and convenience of users of the highway. (Policy T1 (c) of The Plan for Stafford Borough).

13. In the interests of the safety and convenience of users of the highway. (Policy T1 (c) of The Plan for Stafford Borough).

14. To ensure the satisfactory appearance of the development and to safeguard the visual amenities of the occupiers of existing neighbouring properties on Hall Farm Close. (Policies N1 (g) and (h) of The Plan for Stafford Borough).

15. To ensure the satisfactory appearance of the development and to safeguard the occupiers of the proposed dwellings from undue noise and general disturbance. (Policies N1 (e), (g) and (h) of The Plan for Stafford Borough).

16. To ensure the satisfactory appearance of the development and to safeguard the occupiers of the proposed dwellings from undue noise and general disturbance. (Policies N1 (e), (g) and (h) of The Plan for Stafford Borough).

17. In the interests of public safety. (Paragraph 120 of the National Planning Policy Framework).

18. In order to ensure that the development does not result in damage or harm to legally protected species or their habitat/roost. (Paragraph 118 of the National Planning Policy Framework).



Moreton Developments Limited
C/O Horsley Sparrow Consultancy Ltd
24 Shaw Street
Newcastle-under-Lyme
Staffordshire
ST5 2DB

Date Registered 13 March 2014
Decision Date 26 September 2014
Issued Date 26 September 2014

FAO Mr David Breakwell

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

19. In order to ensure that the development does not result in damage or harm to legally protected species or their habitat/roost. (Paragraph 118 of the National Planning Policy Framework).

20. To safeguard the occupiers of nearby residential properties from undue noise and general disturbance. (Policy N1 (e) of The Plan for Stafford Borough).

21. To safeguard the occupiers of nearby residential properties from undue noise and general disturbance. (Policy N1 (e) of The Plan for Stafford Borough).

INFORMATIVE(S)

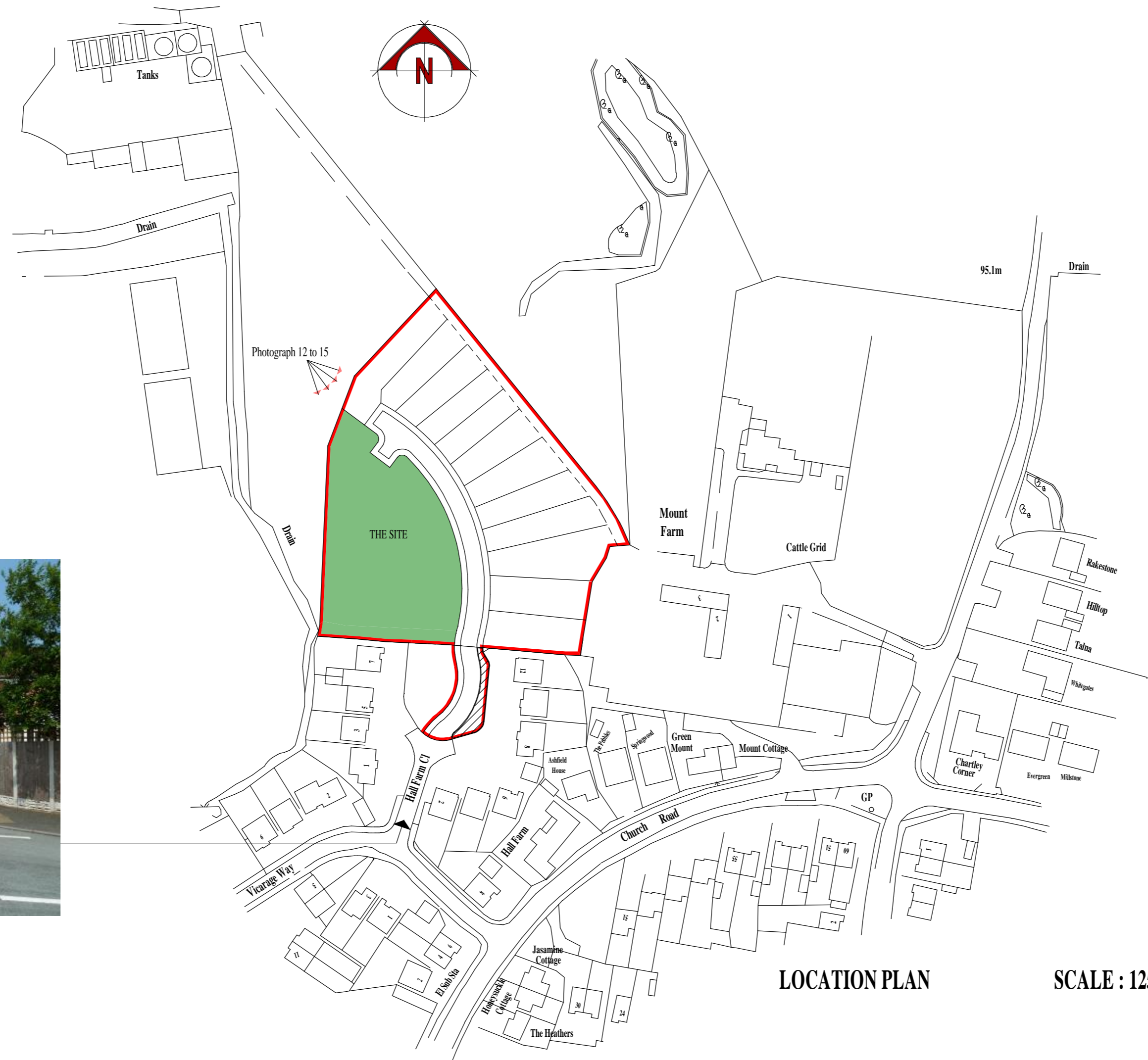
1 The local planning authority considers the proposal to be a sustainable form of development and therefore complies with the provisions of the National Planning Policy Framework.

2 That the applicant's attention be drawn to the comments of the Police Architectural Liaison Officer and the Head of Environmental and Health Services contained in the attached letters.

Head of Planning and Regeneration
On behalf of the Council

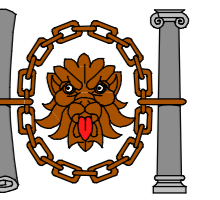


Photograph 12 to 15

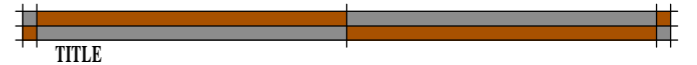


Photograph 01

Building Design



CHARTERED INSTITUTE OF ARCHITECTURAL TECHNOLOGISTS



TITLE
**RESUBMISSION APPLICATION DRAWING FOR
 PROPOSED RESIDENTIAL DEVELOPMENT
 LAND AT
 HIXON
 STAFFORDSHIRE**

CLIENT
MORETON DEVELOPMENTS
 DRAWING NO.

LOCATION PLAN
 SCALE 1:1250 DATE FEBRUARY 2014

B. BLAKEMAN CIAT
 15A, WHITMORE ROAD, NEWCASTLE,
 STAFFORDSHIRE, ST5 3LY
 TEL/FAX 01782 632911

LOCATION PLAN SCALE : 1250



Mr & Mrs Ian Price
C/O Barnett Ratcliffe
Partnership
FAO Mr Chris Mosiuk
The Old Library
Rowley Street
Stafford
Staffordshire
ST16 2RH

Date Registered 18 December 2013
Decision Date 31 March 2014
Issued Date 31 March 2014

Refuz

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

Application No: 13/19764/OUT
Proposed Development: Erection of two dwellings
Location: Land Between Chase View Farm And Almondbury Puddle Hill Hixon
O. S. Reference: 400720 325968

Stafford Borough Council, in pursuance of powers under the Town and Country Planning Act, hereby permits the above development in accordance with the accompanying plans and subject to the following conditions :-

1. This is an outline planning permission only and, notwithstanding any information in the application, before any development including demolition is carried out, details of the landscaping, scale, and appearance of the dwellings on the site (the reserved matters) shall be submitted to and be approved in writing by the Local Planning Authority,
2. Application for approval of the reserved matters shall be made to the Local Planning Authority before the expiration of three years from the date of this permission.
3. The development hereby permitted shall be begun before the expiration of two years from the date of approval of the last of the reserved matters to be approved.
4. No more than two houses shall be constructed.
5. The approved plan is drawing no. 1301/26/PL/01



Mr & Mrs Ian Price
C/O Barnett Ratcliffe
Partnership
FAO Mr Chris Mosiuk
The Old Library
Rowley Street
Stafford
Staffordshire
ST16 2RH

Date Registered 18 December 2013
Decision Date 31 March 2014
Issued Date 31 March 2014

Refuz

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

6. No development shall take place until details of hard and soft landscaping works have been submitted to and approved in writing by the Local Planning Authority. They shall include finished levels or contours, means of enclosure, vehicle and pedestrian access areas, planting plans, written specifications (including cultivation and other operations associated with plant and grass establishment), schedules of plants noting species, plant sizes and proposed numbers/densities, and implementation programmes. Thereafter the approved works shall be carried out within 8 months of the date of approval of those details and any plants or trees that die, are removed or become damaged or diseased within a period of 5 years from the date of planting shall be replaced with others of similar size and species in the next planting season unless the local planning authority gives written consent to any variation.
7. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 as amended by the Town and Country Planning (General Permitted Development)(Amendment) (No.2)(England) Order 2008 or as may be subsequently amended, in relation to the 2 dwellings hereby approved, no development described in Part 1 of the Schedule under Class A - the enlargement, improvement or other alteration of a dwellinghouse including windows and doors; Class B - enlargement of a dwellinghouse consisting of an addition or alteration to the roof; Class C- any other alteration to the roof; Class D - the erection of construction of a porch; Class E - the provision within the curtilage of a dwellinghouse of (a) any building or enclosure, etc. required for a purpose incidental to the enjoyment of the dwellinghouse and (b) a container for used for domestic heating purposes; Class F - the provision within the curtilage of a dwellinghouse of a hardsurface or its replacement.



Mr & Mrs Ian Price
C/O Barnett Ratcliffe
Partnership
FAO Mr Chris Mosiuk
The Old Library
Rowley Street
Stafford
Staffordshire
ST16 2RH

Date Registered 18 December 2013
Decision Date 31 March 2014
Issued Date 31 March 2014

Pefuz

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

8. No construction work including demolition and deliveries shall be carried out except between the hours of 08.00 and 18.00 Monday to Friday or between 08.00 and 14.00 on Saturdays. No such work shall be carried out on Sundays or bank/public holidays.
9. There shall be no burning of materials on site throughout demolition and construction and facilities shall be provided at the site and access roadways and used when necessary to damp down to prevent excessive dust and to remove mud on roadways.
10. Any construction plant or equipment left running outside of the specified working hours shall not be audible at the boundary with adjoining residential properties.
11. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 as amended by the Town and Country Planning (General Permitted Development)(Amendment) (No.2)(England) Order 2008 or as may be subsequently amended, in relation to the 2 no. dwellings hereby approved, no development described in Part 1 of the Schedule under Class A - the enlargement, improvement or other alteration of a dwellinghouse including windows and doors; Class B - enlargement of a dwellinghouse consisting of an addition or alteration to the roof; Class C- any other alteration to the roof; Class D - the erection of construction of a porch; Class E - the provision within the curtilage of a dwellinghouse of (a) any building or enclosure, etc. required for a purpose incidental to the enjoyment of the dwellinghouse and (b) a container for used for domestic heating purposes; Class F - the provision within the curtilage of a dwellinghouse of a hardsurface or its replacement, shall be carried out without the prior written permission of the Local Planning Authority.



Mr & Mrs Ian Price
C/O Barnett Ratcliffe
Partnership
FAO Mr Chris Mosiuk
The Old Library
Rowley Street
Stafford
Staffordshire
ST16 2RH

Date Registered 18 December 2013
Decision Date 31 March 2014
Issued Date 31 March 2014

Refuz

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

The reasons for the Council's decision to grant permission for the development subject to the above conditions are:

1. This is a grant of outline planning permission only.
2. The time limit condition is imposed in order to comply with the requirements of Section 91 of the Town and Country Planning Act 1990.
3. The time limit condition is imposed in order to comply with the requirements of Section 91 of the Town and Country Planning Act 1990.
4. To define the permission.
5. This is an outline planning permission only and due regard has been paid to the size of the site, the amenities of adjacent occupiers and the environmental constraints on the site (Saved Policies E&D1(ii) and (iv) and HOU1 of the Stafford Borough Local Plan 2001)
6. To safeguard the character and appearance of the area. (Saved Policy E&D1(ii) of the Stafford Borough Local Plan 2001).
7. In the interests of amenity and to ensure a satisfactory form of development. (Saved Policy E&1(i) and E&D2(i) of the Stafford Borough Local Plan 2001).
8. To safeguard the occupiers of nearby residential properties from undue noise and general disturbance. (Saved Policy E&D1(iv) of the Stafford Borough Local Plan 2001).



Mr & Mrs Ian Price
C/O Barnett Ratcliffe
Partnership
FAO Mr Chris Mosiuk
The Old Library
Rowley Street
Stafford
Staffordshire
ST16 2RH

Date Registered 18 December 2013
Decision Date 31 March 2014
Issued Date 31 March 2014

Pefuz

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

9. To safeguard occupiers of nearby residential properties from nuisance caused by fumes, dust and smell. (Saved Policy E&D1(iv) of the Stafford Borough Local Plan 2001).
10. To safeguard the area from undue noise. (Saved Policy E&D1(iv) of the Stafford Borough Local Plan 2001).
11. In the interests of amenity and to ensure a satisfactory form of development. (Saved Policy E&1(i) and E&D2(i) of the Stafford Borough Local Plan 2001).

INFORMATIVE(S)

- 1 The Local Planning Authority consider the proposal to be a sustainable form of development and therefore complies with the provisions of the National Planning Policy Framework.
- 2 The applicants attention is drawn to the comments of the County Public Rights of Way Officer.

Head of Planning and Regeneration
On behalf of the Council

Puddle Hill

Care's Cottage

Taw

Wellin

Hale Cro

Wassand

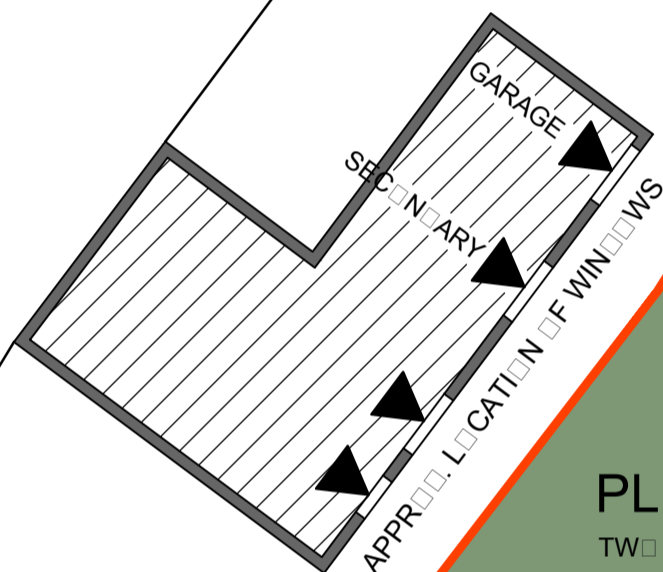
Ferris

The Cottage

Mount Pleasant

Almondsbur

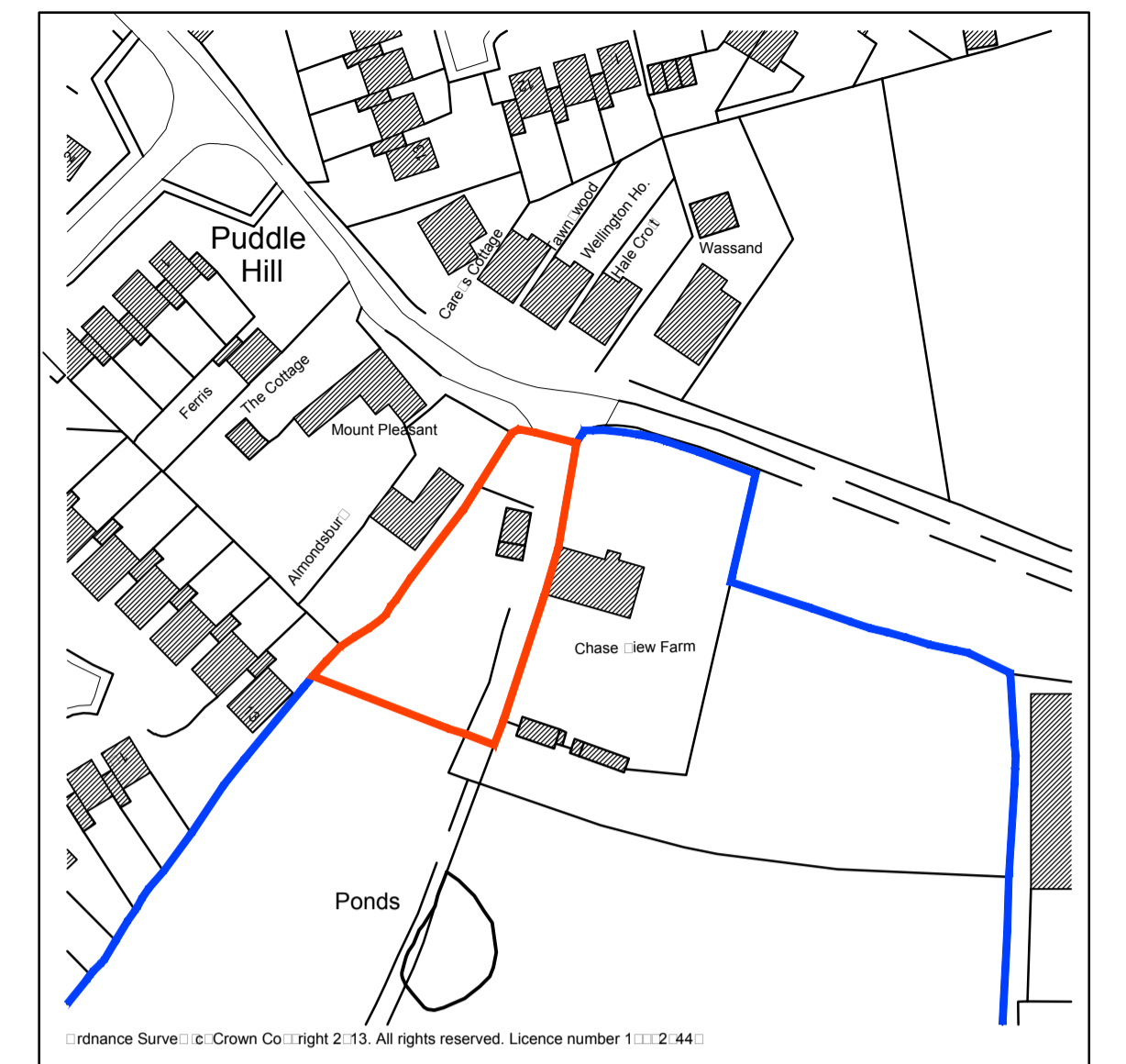
Chase View Farm



PLT 1
TWO STOREY DWELLING
APPROXIMATE FLOOR AREA
GROUND: 67 S.M
FIRST: 67 S.M
TOTAL: 134 S.M

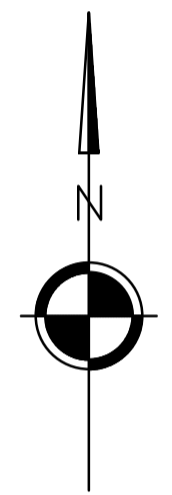
PLT 2
FORMER BUNGALOW
APPROXIMATE FLOOR AREA
GROUND: 12 S.M
FIRST: 7 S.M
TOTAL: 19 S.M

PEDESTRIAN PUBLIC RIGHT OF WAY



LOCATION PLAN
SCALE 1:1200

10m SCALE 1:1250



Rev Details Date/By
The copyright of this drawing and design is vested in the Architect and must not be copied or reproduced without written consent. All dimensions given are to be verified on site by the responsible contractor. This drawing must not be scaled.



Barnett Ratcliffe Partnership

Architects and Development Consultants

The Old Library Rowley Street
Stafford ST16 2RH
Tel: 01785 255088
Fax: 01785 259369
Email: info@barnettratliffe.co.uk

Client

MR. & MRS. I. PRICE

Project

RESIDENTIAL DEVELOPMENT
CHASE VIEW FARM
PUDDLE HILL, HIXON

Drawing

LAYOUT AS PROPOSED

Scale 1:200

@Sheet Size A1

Drawn By CM

Date

Status

Check By

12.13

PL

Drawing Number

1301/26/PL/01

Revision

1m SCALE 1:200



Mr John Martin	Date Registered	3 July 2014
C/O Berrys		
Helen Howie	Decision Date	22 June 2015
Willow House East		
Shrewsbury Business Park	Issued Date	22 June 2015
Shrewsbury		
Shropshire		
SY2 6LG		

Peritz

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

Application No:	14/20711/OUT
Proposed Development	Outline application for the erection of 10 dwellings with access
Location	Land Adjacent To Yew Tree House Egg Lane Hixon
O. S. Reference:	400408 325782

Stafford Borough Council, in pursuance of powers under the Town and Country Planning Act, hereby permits the above development in accordance with the accompanying plans and subject to the following conditions :-

1. Application for approval of the reserved matters shall be made to the Local Planning Authority before the expiration of two years from the date of this permission.
2. This is an outline consent only for the erection of a maximum of 10 dwellings and before the development is commenced details of the appearance, landscaping, layout and scale of the development (the reserved matters) shall be submitted to and approved in writing by the Local Planning Authority.
3. The development hereby permitted shall be begun before the expiration of one year from the date of the last reserved matter to be approved.
4. This permission relates to the originally submitted details and specifications and to the following drawing except where indicated otherwise by a condition attached to this consent, in which case the condition shall take precedence -
Drawing number SA14859/01.



Mr John Martin	Date Registered	3 July 2014
C/O Berrys		
Helen Howie	Decision Date	22 June 2015
Willow House East		
Shrewsbury Business Park	Issued Date	22 June 2015
Shrewsbury		
Shropshire		
SY2 6LG		

Page 2

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

5. The development hereby permitted shall not be commenced until full details of the following have been submitted to and approved in writing by the Local Planning Authority –

- Provision of adequate parking, turning and servicing within the site curtilage;
- Full road construction including street lighting, longitudinal sections and a satisfactory means of draining roads to an acceptable drainage outfall based on SUDS principles.

The development shall thereafter be implemented in accordance with the approved details and be completed prior to first occupation of the development.

6. The development hereby permitted shall not be commenced until details of the following highway works have been submitted to and approved in writing by the Local Planning Authority –

- Provision of a footway between indicative drives to plots 1 and 2 and the boundary with Yew Tree House;
- The widening of Egg Lane on the west facing site frontage to a minimum of 5.5 metres;
- Kerbing of Egg Lane on the site frontage between Yew Tree House and the southern extent of the visibility splay towards Grange Court;
- Widening of Egg Lane on the frontage of Church View to a minimum width of 6 metres.



Mr John Martin	Date Registered	3 July 2014
C/O Berrys		
Helen Howie	Decision Date	22 June 2015
Willow House East		
Shrewsbury Business Park	Issued Date	22 June 2015
Shrewsbury		
Shropshire		
SY2 6LG		

Pe6Jz

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

The details shall incorporate further two and three dimensional revisions as recommended by a Stage 2 Safety Audit and in accordance with engineering details. The works shall thereafter be constructed in accordance with the approved details prior to the development being first brought into use.

7. The development hereby permitted shall not be brought into use until the visibility splays shown on drawing no. SA14859/01 have been provided. The visibility splay shall thereafter be kept free of all obstructions to visibility over a height of 600mm above the adjacent carriageway level.
8. Any garages shall have minimum internal dimensions of 3m x 6m.
9. The development hereby permitted shall not be brought into use until the existing site accesses, which shall include the access crossing between the site and the carriageway edge made redundant as a consequence of the development hereby permitted have been permanently closed and the access crossing reinstated as verge and/or footway in accordance with details to be submitted to and approved in writing by the Local planning Authority. The redundant accesses shall thereafter be reinstated in accordance with the approved details.
10. The development hereby permitted shall not be commenced until a Demolition and Construction Method Statement has been submitted to and approved in writing by the Local Planning Authority. The statement shall provide for –
 - i) A site compound with associated temporary buildings;
 - ii) Space for the parking of vehicles of site operatives and visitors;
 - iii) Space for the loading and unloading of plant and materials;
 - iv) Space for the storage of plant and materials;



Mr John Martin	Date Registered	3 July 2014
C/O Berrys		
Helen Howie	Decision Date	22 June 2015
Willow House East		
Shrewsbury Business Park	Issued Date	22 June 2015
Shrewsbury		
Shropshire		
SY2 6LG		

PeLuz

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

- v) Wheel wash and dust suppression measures;
- vi) Noise mitigation measures to prevent nuisance to nearby residents including the hours of operation of demolition, construction and vehicle movements.

The approved Demolition and Construction Method Statement shall be implemented in full for the duration of the operations.

11. Before the development is commenced details of foul drainage shall be submitted to and approved in writing by the Local Planning Authority. The approved foul drainage system shall be constructed prior to the occupation of the dwellings.
12. Before the development is commenced details of surface water drainage incorporating sustainable urban drainage techniques shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall include a specification for maintenance. The development shall not be occupied until the approved scheme has been implemented and it shall be retained in working order in accordance with the maintenance specification.
13. Before the development is commenced details of a specification for the protection of the southern boundary hedge shall be submitted to and approved in writing by the Local Planning Authority. The details shall include, protective fencing, retention of existing levels, exclusion of storage in accordance with the recommendations of BS 5837: 2012.



Mr John Martin	Date Registered	3 July 2014
C/O Berrys		
Helen Howie	Decision Date	22 June 2015
Willow House East		
Shrewsbury Business Park	Issued Date	22 June 2015
Shrewsbury		
Shropshire		
SY2 6LG		

Petite

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

The reasons for the Council's decision to grant permission for the development subject to the above conditions are:

1. To comply with the requirements of Section 51 of the Planning and Compulsory Purchase Act 2004 and in order to ensure the delivery of housing in a timely manner.
2. The application has been made for outline permission only.
3. To comply with the requirements of Section 51 of the Planning and Compulsory Purchase Act 2004 and in order to ensure the delivery of housing in a timely manner
4. To define the permission.
5. In the interests of Highway safety and convenience. (Policy T2 of the Plan for Stafford Borough 2011-2031).
6. In the interests of Highway safety and convenience. (Policy T2 of the Plan for Stafford Borough 2011-2031).
7. In the interests of Highway safety and convenience. (Policy T2 of the Plan for Stafford Borough 2011-2031).
8. In the interests of Highway safety and convenience. (Policy T2 of the Plan for Stafford Borough 2011-2031).
9. In the interests of Highway safety and convenience. (Policy T2 of the Plan for Stafford Borough 2011-2031).



Mr John Martin
C/O Berrys
Helen Howie
Willow House East
Shrewsbury Business Park
Shrewsbury
Shropshire
SY2 6LG

Date Registered 3 July 2014
Decision Date 22 June 2015
Issued Date 22 June 2015

Page 2

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

10. In the interests of Highway safety and convenience and to safeguard the amenities of nearby residents. (Policy T2 of the Plan for Stafford Borough 2011-2031).
11. To ensure that a satisfactory means of foul drainage is provided. (Policy N2 of the Plan for Stafford Borough 2011-2031)
12. To ensure that a satisfactory means of surface water drainage is provided. (Policies N1 & N2 of the Plan for Stafford Borough 2011-2031)
13. To ensure the retention of existing natural features on the site. (Policy N1 of the Plan for Stafford Borough 2011-2031).

INFORMATIVE(S)

- 1 The Local Planning Authority consider the proposal to be a sustainable form of development and therefore complies with the provisions of the National Planning Policy Framework.



Mr John Martin	Date Registered	3 July 2014
C/O Berrys		
Helen Howie	Decision Date	22 June 2015
Willow House East		
Shrewsbury Business Park	Issued Date	22 June 2015
Shrewsbury		
Shropshire		
SY2 6LG		

PeAuz

TOWN AND COUNTRY PLANNING ACT 1990

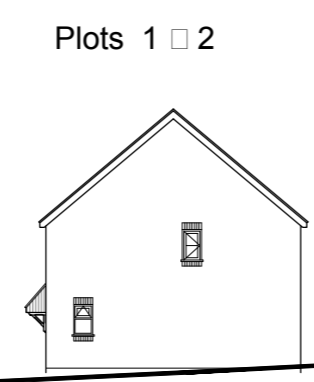
PERMISSION FOR DEVELOPMENT

- 2 This consent will require approval under Section 7 of the Staffordshire Act 1983 and will require a Section 38 Agreement under the Highways Act 1980. Please contact Staffordshire County Council to ensure that approvals and agreements are secured before commencement of works. The conditions requiring highway works shall require a Major Works Agreement with Staffordshire County Council and the applicant is therefore requested to contact the County Council in respect of securing the agreement. The link below provides access to a Major Works Information Pack and an application form for a Major Works Agreement. Please complete and send to Staffordshire County Council at Network Management Unit, Staffordshire Place 1, Wedgwood Building, Tipping Street, Stafford ST16 2DH or email nmu@staffordshire.gov.uk.
<http://www.staffordshire.gov.uk/transport/staffshighways/licences/>

Head of Planning and Regeneration
On behalf of the Council

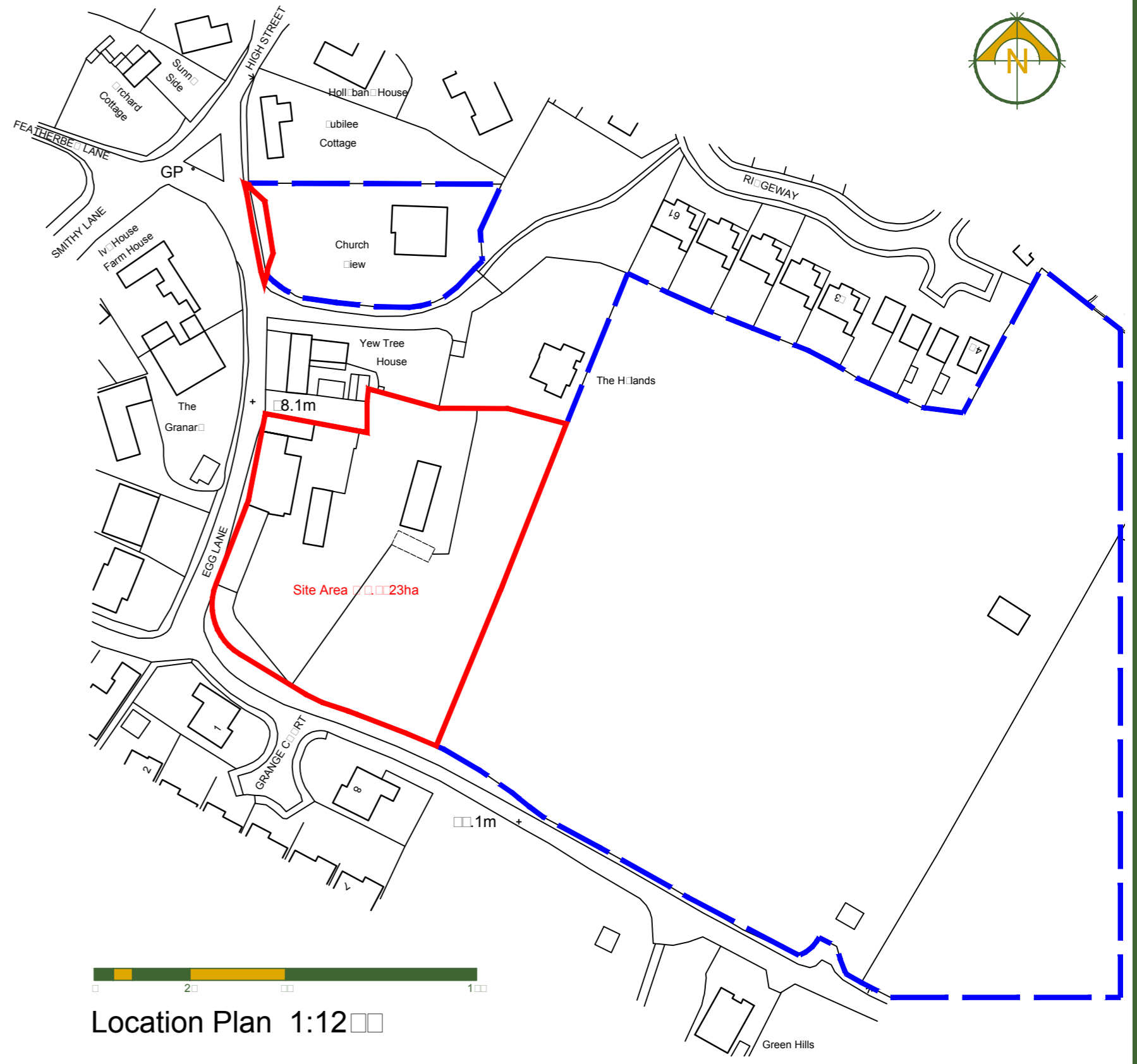


Adoptable road:
 3.0m wide
 1 in 20 gradient for the first 10m
 1 in 10 gradient thereafter
 Approximate Levels of road shown

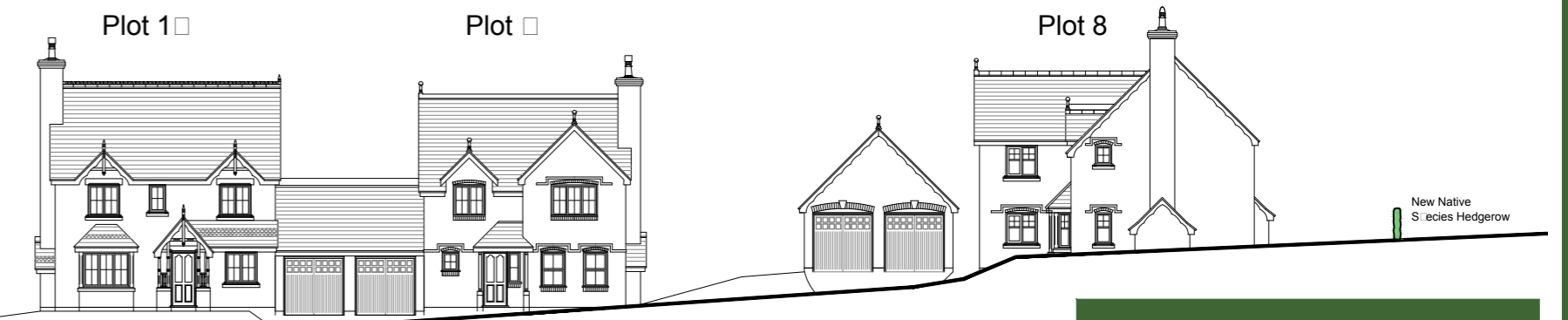


Indicative Site Section through road with indicative house elevations.

Block Plan 1:1000



Location Plan 1:1200



BERRYS

Willow House East
 Shrewsbury Business Park
 Shrewsbury SY2 6LG

Tel: 01743 271697
 Fax: 01743 271753
 www.berrybros.com

Client: Mr. Martin

Project: Outline Application for 10 Houses on land off Egg Lane, Hillon, Staffordshire.

Drawing: Location and Proposed Block Plan showing Access and Indicative Housing Layout

Drawing Number:	Rev.	Scale	Page	Drawn By
SA148/001		as noted	A2	AB

Date: June 2014



Mr R Brown
C/O J Mason Associates Ltd
St Thomas House
Wolverhampton Road
Cannock
Staffordshire
WS11 1AR

Date Registered 7 July 2014
Decision Date 22 September 2015
Issued Date 23 September 2015

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

Application No: 14/20548/FUL
Proposed Development: Thirty - 2, 3, and 4 bedroom homes, to include affordable housing
Location: Land Adjacent To 24 The Croft Off (site 2) Church Lane Hixon
O. S. Reference: 400255 325549

Stafford Borough Council, in pursuance of powers under the Town and Country Planning Act, hereby permits the above development in accordance with the accompanying plans and subject to the following conditions :-

1. The development to which this permission relates must be begun not later than the expiration of three years beginning with the date on which this permission is granted.
2. This permission relates to the details and specifications shown in the supporting reports and on the following drawings except where indicated otherwise by a condition attached to this consent, in which case the condition shall take precedence:-

1680/01E
1680/02
1680/07B
1680/03
1680/04
1680/05
1680/06A

C. H. Hutchison Drainage Consultant Report 20/09/2014
Tree Health Consulting Ltd. Report ref. THC/2014/07/03 AS - 03/07/2014
Tree Health Consulting Ltd Tree Constraints Plan July 2014.



Mr R Brown
C/O J Mason Associates Ltd
St Thomas House
Wolverhampton Road
Cannock
Staffordshire
WS11 1AR

Date Registered 7 July 2014
Decision Date 22 September 2015
Issued Date 23 September 2015

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

3. No development shall take place until full details of the materials to be used for the external surfaces of the buildings, walls, fences, paths and driveways have been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out using the approved materials unless the Local Planning Authority gives written consent to any variation.

4. The approved landscaping proposals described on drawing no. 1680/07B shall be implemented in accordance with the following programme:-

o The new northern and eastern boundary hedges in the first planting season following commencement of the development.

o The planting on individual plots within the development site within the planting season prior to occupation of the relevant plot.

Any plants or trees that are removed die or become seriously damaged or diseased within a period of 5 years from the date of planting shall be replaced with others of similar size and species in the next planting season unless the Local Planning Authority gives written consent to any variation.



Mr R Brown
C/O J Mason Associates Ltd
St Thomas House
Wolverhampton Road
Cannock
Staffordshire
WS11 1AR

Date Registered 7 July 2014
Decision Date 22 September 2015
Issued Date 23 September 2015

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

5. All trees and hedgerows which are shown to be retained in accordance with the approved plans shall be protected in accordance with the BS 5837: 2012 " Trees in relation to design, demolition and construction" recommendations for tree protection. This shall include establishing a Root Protection Area (RPA) around each tree and hedgerow in accordance with the recommendations of BS 5837: 2012. All RPAs must be enclosed with suitable fencing as specified by BS 5837:2012 or as agreed in writing with the Local Planning Authority. No works or alterations to existing ground levels shall be undertaken within the RPAs without the prior written approval of the Local Planning Authority. No materials, equipment or vehicles shall enter or be stored within the RPAs. No materials that are likely to have an adverse effect on plant health such as oil, bitumen or cement shall be stored or discharged within the RPAs. No fires shall be lit within 20 metres of the trunk of any tree or the outer edge of any hedgerow. All tree protection measures shall be agreed in writing with the Local Planning Authority and their installation undertaken before any equipment, machinery or materials are brought on to the site and shall be maintained until all equipment, machinery and surplus materials have been removed from the site.
6. No retained tree or hedgerow shall be cut down, uprooted or destroyed nor shall any works be undertaken to them without the prior written approval of the Local Planning Authority. If any retained tree or hedgerow is removed, uprooted, destroyed or dies within 5 years of the first occupation of the final dwelling built on the development, another tree or hedgerow shall be planted at the same location at such size and species and at such time as may be specified in writing by the Local Planning Authority.



Mr R Brown	Date Registered	7 July 2014
C/O J Mason Associates Ltd	Decision Date	22 September 2015
St Thomas House	Issued Date	23 September 2015
Wolverhampton Road		
Cannock		
Staffordshire		
WS11 1AR		

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

7. No works to trees or hedgerows shall be carried out in the bird nesting season March to August unless it can be demonstrated from pre-work checks submitted in the form of a method statement to be approved in writing by the Local Planning Authority that breeding birds will not be affected. Works shall then only be carried out in accordance with the approved method statement.
8. The development hereby permitted shall not be commenced until the following biodiversity enhancements including a timetable for implementation have been submitted to and approved in writing by the Local Planning Authority:-
 - i) A management plan for the flush and ditch.
 - ii) Details of roosting facilities for bats and bird nest boxes.

The approved management plan shall be implemented and the roosting/nesting facilities shall be provided in accordance with the approved details.

9. The development hereby permitted shall not be commenced until a scheme for dealing with surface water flows based on sustainable drainage principles has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include details to show how an exceedance flow for a 1 in 100 year storm plus 30% for climate change will be stored on site or calculations demonstrating that flows generated by such a storm will be capable of being transferred to the attenuation system. The approved scheme shall be implemented in full prior to the completion of the development and thereafter retained in effective working order.



Mr R Brown
C/O J Mason Associates Ltd
St Thomas House
Wolverhampton Road
Cannock
Staffordshire
WS11 1AR

Date Registered 7 July 2014
Decision Date 22 September 2015
Issued Date 23 September 2015

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

10. The development hereby permitted shall not be commenced until a Construction Method Statement has been submitted to and approved in writing by the Local Planning Authority. The provisions of the approved Statement shall be adhered to throughout the construction period. The Statement shall provide details of:-
 - i) A site compound with associated temporary buildings:
 - ii) Space for parking of vehicles of site operatives and visitors:
 - iii) Space for loading and unloading of plant and materials:
 - iv) Storage space for plant and materials:
 - v) Wheel wash and dust suppression measures:
 - vi) Operating hours for site preparation, construction and vehicle movements.
11. No dwellings shall be occupied prior to the access to the site being completed in accordance with details to be first submitted to and approved in writing by the Local Planning Authority.
12. No individual dwelling shall be occupied until it has been connected to the highway network by a completed access road.
13. The parking spaces shown on the approved layout drawing shall be laid out before the dwellings they are proposed to serve are occupied and shall thereafter be retained for their designated purpose for the life of the development.
14. No part of the development shall be occupied until the visibility splays shown on drawing no. 1680/01E have been provided. The visibility splays shall thereafter be kept free of all obstructions to visibility over a height of 600mm above the adjacent carriageway level for the life of the development.



Mr R Brown
C/O J Mason Associates Ltd
St Thomas House
Wolverhampton Road.
Cannock
Staffordshire
WS11 1AR

Date Registered 7 July 2014
Decision Date 22 September 2015
Issued Date 23 September 2015

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

The reasons for the Council's decision to grant permission for the development subject to the above conditions are:

1. To comply with the requirements of Section 51 of the Planning and Compulsory Purchase Act 2004.
2. To define the permission.
3. In the interests of visual amenity and to ensure a satisfactory form of development (Policies N1 and N4 of the Plan for Stafford Borough).
4. In the interests of visual amenity and biodiversity (Policies N4 and N5 of the Plan for Stafford Borough).
5. In the interests of visual amenity and biodiversity (Policies N4 and N5 of the Plan for Stafford Borough).
6. In the interests of visual amenity and biodiversity (Policies N4 and N5 of the Plan for Stafford Borough).
7. In the interests of biodiversity (Policies N4 and N5 of the Plan for Stafford Borough).
8. In the interests of biodiversity (Policies N4 and N5 of the Plan for Stafford Borough).
9. To prevent the increased risk of flooding both on and off site (Policy N2 of the Plan for Stafford Borough).
10. In the interests of amenity and highway safety (Policies N1 and T2 of the Plan for Stafford Borough).



Mr R Brown
C/O J Mason Associates Ltd
St Thomas House
Wolverhampton Road
Cannock
Staffordshire
WS11 1AR

Date Registered 7 July 2014
Decision Date 22 September 2015
Issued Date 23 September 2015

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

11. In the interests of highway safety (Policy T2 of the Plan for Stafford Borough).
12. In the interests of highway safety (Policy T2 of the Plan for Stafford Borough).
13. In the interests of highway safety (Policy T2 of the Plan for Stafford Borough).
14. In the interests of highway safety (Policy T2 of the Plan for Stafford Borough).

INFORMATIVE(S)

- 1 The Local Planning Authority considers the proposal to be a sustainable form of development and therefore it complies with the provisions of the National Planning Policy Framework.
- 2 This consent will require approval under Section 7 of the Staffordshire Act 1983 and will require exemption under S38 of the Highways Act 1980. The development shall remain private in perpetuity and must be maintained by a maintenance company. Please contact Staffordshire County Council to ensure that approvals and agreements are secured before commencement of works.

Head of Planning and Regeneration
On behalf of the Council



Ordnance Survey (c) Crown Copyright 2014. All rights reserved. Licence number 100022432

CHECKED
 09 OCT 2014
 SCA

REVISIONS		
A	09.10.14	boundary line revised

JMASON ASSOCIATES
CHARITABLE LIMITED

ST THOMAS HOUSE
 83 WOLVERHAMPTON ROAD
 CANNOCK, STAFFS, WS11 1AR
 T: 01543 467788 F: 01543 467755
 e: enquiry@jmasonassociates.co.uk
 w: www.jmasonassociates.com

CLIENT
Mr R Brown

PROJECT
Residential Development
Church Lane
Hixon

DRAWING
Location Plan

SCALE 1:1250@A2	DATE 19.05.14	DRAWING NO. 1680/06A
---------------------------	-------------------------	--------------------------------

The copyright of this drawing is vested in the Architect. It must not be copied or reproduced without consent. Figured dimensions to be used in preference to scaled and all dimensions must be checked on site by the Contractor.



Taylor Wimpey UK Ltd
C/O Barton Willmore LLP
Regent House
Prince's Gate
4 Homer Road
Solihull
West Midlands
B91 3QQ

Date Registered 19 November 2014
Decision Date 4 March 2015
Issued Date 5 March 2015

Pe/uz

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

Application No: 14/21267/REM
Proposed Development Submission of reserved matters pursuant to planning permission 13/19249/OUT (appearance, layout, scale and landscape for approval) for the erection of 76 dwellings served via access from New Road (approved under planning permission 13/19249/OUT); landscaping; car parking; earth works to facilitate storm water drainage and all other ancillary and enabling works - AMENDED PLANS
Location Land Adjacent New Road Hixon Stafford
O. S. Reference: 399873 325904

Stafford Borough Council, in pursuance of powers under the Town and Country Planning Act, hereby permits the above development in accordance with the accompanying plans and subject to the following conditions :-

1. The development hereby permitted shall be commenced within one year from the date of this approval.
2. This permission relates to the originally submitted details and specification and to the following drawings, except where indicated otherwise by a condition attached to this consent, in which case the condition shall take precedence:-
SL-P-01 Site Location Plan
DA-P-01 Detailed Access from New Road
A630 01 I Planning Layout
A630 02 G Facing Materials plan
A630 03 F Means of Enclosure Plan
A630 04 E Accommodation Plan
A630 05 E Tenure Plan



Taylor Wimpey UK Ltd
C/O Barton Willmore LLP
Regent House
Prince's Gate
4 Homer Road
Solihull
West Midlands
B91 3QQ

Date Registered 19 November 2014

Decision Date 4 March 2015

Issued Date 5 March 2015

Pet4z

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

A630 07 C Street scenes
A630 08 E Preliminary Slab Levels Plan
A630 09 E POS Area Plan
SK 002 Preliminary Finished Floor Levels
20071-AA Sections A-A
20071-BB A Sections B-B
20071-CC Sections C-C
C-1205-01 D Detailed landscape proposals
C-1205-02 D Detailed landscape proposals
C-1205-03 C Detailed landscape proposals
BS5837 Tree Survey & Arboricultural Impact
Sheet 1
Sheet 2
Sheet 3a
Q3490 Play Area Equipment
HMP/01 A Habitat Management Plan
MC-P/01 Management Company Plan
IPD-14-304-500 Drainage General Arrangement
Installation Bedding Instructions - General Information
STD1016 02 Sewage Pumping Station Template Site Layout
STD1018 01 Sewage Pumping Station Template
GTC-E-SS-0020_R1-2_1 of 1 Close Coupled Substation
AA21 Floor Plans & Elevations
AA23 Floor Plans & Elevations
AA31 Floor Plans & Elevations
PD32 Floor Plans & Elevations
PT41 Floor plans
PT41 Elevations
PT42 Floor Plans & Elevations
PT43 Floor Plans
PT43 Elevations



Taylor Wimpey UK Ltd
C/O Barton Willmore LLP
Regent House
Prince's Gate
4 Homer Road
Solihull
West Midlands
B91 3QQ

Date Registered 19 November 2014
Decision Date 4 March 2015
Issued Date 5 March 2015

P6642

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

PA49 Floor Plans & Elevations
PD410 Floor Plans & Elevations
PD411 Floor Plans & Elevations
Single & Double Garages Floor Plans & Elevations
Technical Memorandum - Echo Affiliates

3. All hard and soft landscape works shall be carried out with the approved details shown on drawing numbers:

C - 1205-01D Detailed landscape proposals
C - 1205-02D Detailed landscape proposals
C - 1205-03C Detailed landscape proposals.

The works shall be carried out prior to the occupation of any part of the development or in accordance with the programme agreed in writing with the local planning authority, unless the local planning authority gives written consent to any variation.

4. No development shall take place until a schedule of landscape maintenance for a minimum period of 5 years has been submitted to and approved in writing by the local planning authority. The schedule shall include details of the arrangements for its implementation. Development shall be carried out in accordance with the approved schedule. Any plants or trees that are removed or die or become seriously damaged or diseased within a period of 5 years from the date of planting shall be replaced with others of similar size and species in the next planting season, unless the local planning authority gives written consent to any variation.



Taylor Wimpey UK Ltd
C/O Barton Willmore LLP
Regent House
Prince's Gate
4 Homer Road
Solihull
West Midlands
B91 3QQ

Date Registered 19 November 2014
Decision Date 4 March 2015
Issued Date 5 March 2015

Ref: 15/01/00000000

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

5. The development hereby permitted shall not be commenced until such time as the details of the surface water drainage design, to the parameters as stated in the Flood Risk Assessment Ref: 1198/RE/08-13/01 Rev A dated Oct 13, has been submitted to and approved in writing by, the Local Planning Authority.
Including:
 - Limiting the surface water run-off to the parameters stated in Condition 8 of 13/19249/OUT.
 - Providing calculations demonstrating the volume of the attenuation flood storage on the site retains a 100 year plus 30% storm event.
 - Confirming which responsible body will maintain the surface water system over the lifetime of the development according to an acceptable maintenance schedule and that is achievable.
 - Confirmation that exceedance flows up to the 1 in 100 years plus 30% should not result in the surface water flooding of more vulnerable areas within the development site or contribute to surface water flooding of any area outside of the development site.
6. The development shall not commence until drainage plans for the disposal of foul sewage have been submitted to and approved by the Local Planning Authority. The scheme shall be implemented in accordance with the approved details before the development is first brought into use.
7. The development hereby permitted shall not be brought into use until the access to the site within the limits of the public highway has been completed.
8. The development hereby permitted shall not be brought into use until the accesses, parking and turning areas have been provided in accordance with the approved plans.



Taylor Wimpey UK Ltd
C/O Barton Willmore LLP
Regent House
Prince's Gate
4 Homer Road
Solihull
West Midlands
B91 3QQ

Date Registered 19 November 2014

Decision Date 4 March 2015

Issued Date 5 March 2015

Petutz

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

9. Any garages indicated on the approved plan shall be retained for the parking of motor vehicles and cycles. They shall at no time be converted to living accommodation without the prior express permission of the Local Planning Authority.
10. Before any of the dwellings hereby approved are occupied, the earth bund and acoustic fencing along the west boundary, as shown on drawing A630 01 H, shall be fully completed.
11. Before development commences details of the amount and type of any materials to be imported to or exported from the site shall be submitted to the Local Planning Authority for approval. The development shall be carried out in accordance with the approved details.
12. Where the approved plans and particulars indicated that specialized construction work is to take place within the Root Protected Area (RPA) of any retained trees, hedgerows or shrubs, prior to the commencement of any development works, an Arboricultural Method Statement (AMS) detailing how any approved construction works will be carried out shall be submitted and agreed in writing by the local planning authority. The AMS shall include details on when and how the works will be take place and be managed and how the trees etc. will be adequately protected during such a process.

The reasons for the Council's decision to grant permission for the development subject to the above conditions are:

1. To comply with the requirements of Section 51 of the Planning and Compulsory Purchase Act 2004.



Taylor Wimpey UK Ltd
C/O Barton Willmore LLP
Regent House
Prince's Gate
4 Homer Road
Solihull
West Midlands
B91 3QQ

Date Registered 19 November 2014

Decision Date 4 March 2015

Issued Date 5 March 2015

Pe/uz

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

2. To define the permission.
3. In the interests of amenity and to ensure a satisfactory form of development, in accordance with Policy N1 of the Plan for Stafford Borough.
4. In the interests of amenity and to ensure a satisfactory form of development, in accordance with Policy N1 of the Plan for Stafford Borough.
5. To ensure the provision of adequate drainage facilities and to prevent the pollution of any adjacent watercourses, wells and aquifers. (Policy N2 of The Plan for Stafford Borough).
6. To ensure the provision of adequate drainage facilities and to prevent the pollution of any adjacent watercourses, wells and aquifers. (Policy N2 of The Plan for Stafford Borough).
7. In the interests of the safety and convenience of users of the highway. (Policy T1c of The Plan for Stafford Borough).
8. In the interests of the safety and convenience of users of the highway. (Policy T1c of The Plan for Stafford Borough).
9. To ensure the provision of adequate off-street facilities in the interests of the convenience and safety of users of the highway. (Policy T2d of The Plan for Stafford Borough).
10. To safeguard the occupiers of the approved dwelling(s) from undue noise. (Policy N1e of The Plan for Stafford Borough).



Taylor Wimpey UK Ltd
C/O Barton Willmore LLP
Regent House
Prince's Gate
4 Homer Road
Solihull
West Midlands
B91 3QQ

Date Registered 19 November 2014
Decision Date 4 March 2015
Issued Date 5 March 2015

Pafuz

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

11. To safeguard the amenities of the area (Policy N1e of The Plan for Stafford Borough).
12. To safeguard and protect the retained natural features that contribute to the amenity of the local area and that are important to the appearance of the development. (Policy N4 of The Plan for Stafford Borough).

INFORMATIVE(S)

- 1 This permission should be read in association with the outline planning permission 13/19249 and associated Section 106 Agreement.
- 2 This consent will require approval under Section 7 of the Staffordshire Act 1983 and will require a Section 38 of the Highways Act 1980. Please contact Staffordshire County Council to ensure that approvals and agreements are secured before commencement of works.

The condition requiring construction of footway shall require a Major Works Agreement with Staffordshire County Council and the applicant is therefore requested to contact Staffordshire County Council in respect of securing the Agreement. The link below provides a further link to a Major Works Information Pack and an application form for the Major Works Agreement. Please complete and send to the address indicated on the application form which is Staffordshire County Council at Network Management Unit, Staffordshire Place 1, Wedgwood Building, Tipping Street, STAFFORD, Staffordshire ST16 2DH. (or email to nmu@staffordshire.gov.uk)
<http://www.staffordshire.gov.uk/transport/staffshighways/licences/>



Taylor Wimpey UK Ltd
C/O Barton Willmore LLP
Regent House
Prince's Gate
4 Homer Road
Solihull
West Midlands
B91 3QQ

Date Registered 19 November 2014
Decision Date 4 March 2015
Issued Date 5 March 2015

Petuz

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

- 3 The Local Planning Authority has worked in a positive and proactive manner in dealing with this application and following the applicant's amendment of the plans, the proposal is considered to be a sustainable form of development and therefore complies with the provisions of the National Planning Policy Framework.

Head of Planning and Regeneration
On behalf of the Council



Lloyd Stoddart Development C/O MBD Architecture 74 Newcastle Road Stone Staffordshire ST15 8LB	Date Registered Decision Date Issued Date	6 September 2013 13 March 2014 25 April 2014
---------------------------------------------------------------------------------------------------------------	-------------------------------------------------	----------------------------------------------------

TOWN AND COUNTRY PLANNING ACT 1990

Pafutz

PERMISSION FOR DEVELOPMENT

Application No:	13/19249/OUT
Proposed Development	Proposed development up to 76 two-storey houses and associated works including landscaping with 30% affordable housing.
Location	Land Adjacent New Road Hixon Stafford
O. S. Reference:	399868 325908

Stafford Borough Council, in pursuance of powers under the Town and Country Planning Act, hereby permits the above development in accordance with the accompanying plans and subject to the following conditions :-

1. Application for approval of the reserved matters shall be made to the Local Planning Authority before the expiration of two years from the date of this permission.
2. This is a grant of outline consent only and before the development is commenced details of the scale, siting, appearance and landscaping of the site, (the reserved matters) shall be submitted to and approved in writing by the Local Planning Authority.
3. The development hereby permitted shall be begun before the expiration of one year from the date of approval of the last of the reserved matters to be approved.
4. This permission relates to the originally submitted details and specification and to the following drawings, except where indicated otherwise by a condition attached to this consent, in which case the condition shall take precedence:-

Sheet 1 - 1:500
Sheet 2 - 1:500
Sheet 6 - 1:2500



Lloyd Stoddart Development C/O MBD Architecture 74 Newcastle Road Stone Staffordshire ST15 8LB	Date Registered Decision Date Issued Date	6 September 2013 13 March 2014 25 April 2014
---------------------------------------------------------------------------------------------------------------	-------------------------------------------------	----------------------------------------------------

TOWN AND COUNTRY PLANNING ACT 1990

Refuz

PERMISSION FOR DEVELOPMENT

Sheet 7 - 1:12500 Cannock Chase SAC
Indicative Housing layout & location plan : drawing no: 12L76PO2 revE
Hixon Facilities map 1:5000

5. No development shall take place until full details of both hard and soft landscaping works have been submitted to and approved in writing by the local planning authority and these works shall be carried out as approved. These details shall include [proposed finished levels or contours; means of enclosure; car parking layouts; other vehicle and pedestrian access and circulation areas; hard surfacing materials; minor artefacts and structures (e.g. furniture, play equipment, refuse or other storage units, signs, lighting etc.); proposed and existing functional services above and below ground (e.g. drainage & sewers, power & communication cables, pipelines etc. indicating lines, manholes supports etc.); retained historic landscaping features and proposals for restoration, where relevant.]

Soft landscape works shall include [planting plans; written specifications (including cultivation and other operations associated with plant and grass establishment); schedules of plants, noting species, plant sizes and proposed numbers/densities where appropriate; implementation program]. Any plants or trees that are removed or die or become seriously damaged or diseased within a period of 5 years from the date of planting shall be replaced with others of similar size and species in the next planting season, unless the local planning authority gives written consent to any variation.

6. In this condition "retained tree" means an existing tree which is to be retained in accordance with the approved plans and particulars; and paragraphs (a) and (b) below shall have effect until the expiration of 5 years from the date of the occupation of the building for its permitted use.



Lloyd Stoddart Development C/O MBD Architecture 74 Newcastle Road Stone Staffordshire ST15 8LB	Date Registered	6 September 2013
	Decision Date	13 March 2014
	Issued Date	25 April 2014

TOWN AND COUNTRY PLANNING ACT 1990

PeLutz

PERMISSION FOR DEVELOPMENT

(a) No retained tree shall be cut down, uprooted or destroyed, nor shall any retained tree be topped or lopped other than in accordance with the approved plans and particulars, without the written approval of the local planning authority. Any topping or lopping approved shall be carried out in accordance with British Standard BS 3998:2010 Tree Work.

(b) If any retained tree is removed, uprooted or destroyed or dies, another tree shall be planted at the same place and that tree shall be of such size and species, and shall be planted at such time, as may be specified in writing by the local planning authority.

(c) The erection of fencing for the protection of any retained tree shall be undertaken in accordance with the approved plans and particulars before any equipment, machinery or materials are brought on to the site for the purposes of the development, and shall be maintained until all equipment, machinery and surplus materials have been removed from the site. Nothing shall be stored or placed in any area fenced in accordance with this condition and the ground levels within those areas shall not be altered, nor shall any excavation be made, without the written consent of the local planning authority.



Lloyd Stoddart Development C/O MBD Architecture 74 Newcastle Road Stone Staffordshire ST15 8LB	Date Registered	6 September 2013
	Decision Date	13 March 2014
	Issued Date	25 April 2014

TOWN AND COUNTRY PLANNING ACT 1990

PeFuZ

PERMISSION FOR DEVELOPMENT

7. All trees, shrubs, hedges and bushes which are to be retained in accordance with the approved plans and particulars shall be protected in accordance with an with the BS 5837: 2012 "Trees in Relation to design, demolition and construction" recommendations for tree protection. This shall include establishing a Root Protection Area (RPA) around each tree, shrub, hedgerow or bush, in accordance with the recommendations of BS 5837: 2012. All RPAs must be enclosed by suitable fencing, as specified by BS 5837: 2012 or as agreed in writing with the local authority or, where specifically approved, protected using ground protection measures to the satisfaction of the local planning authority. No works or alterations to existing ground levels or surfaces shall be undertaken within the RPAs without the prior written approval of the local planning authority. No materials, equipment or vehicles are to enter or be stored within the RPAs. No materials that are likely to have an adverse effect on tree health such as oil, bitumen or cement will be stored or discharged within the RPAs. No fires will be lit within 20 metres of the trunk of any tree that is to be retained. All tree protection measures shall be agreed in writing with the local planning authority and their installation undertaken before any equipment, machinery or materials are brought on to the site for the purposes of the development, and shall be maintained until all equipment, machinery and surplus materials have been removed from the site.
8. The development permitted by this planning permission shall only be carried out in accordance with the approved Flood Risk assessment (FRA), reference 1198/RE/08-13/01 revision A produced by Evans Rivers and Coastal Ltd dated October 2013 and the following mitigation measures detailed within the FRA:
 - 1) The maximum allowable discharge rate from the hard-standing areas of the site should be limited to 9.2l/s



Lloyd Stoddart Development C/O MBD Architecture 74 Newcastle Road Stone Staffordshire ST15 8LB	Date Registered	6 September 2013
	Decision Date	13 March 2014
	Issued Date	25 April 2014

TOWN AND COUNTRY PLANNING ACT 1990

Pafluz

PERMISSION FOR DEVELOPMENT

9. No development shall take place until a surface water drainage scheme for the site, based on sustainable drainage principles and an assessment of the hydrological and hydrogeological context of the development, has been submitted to and approved in writing by the Local Planning Authority. The scheme shall be fully implemented and subsequently maintained in accordance with the timing arrangements embodied within the scheme, or within any other period as may subsequently be agreed, in writing, by the Local planning Authority.
10. All works, including demolition, site works and construction together with any deliveries shall only take place between the hours of 8.00 am and 6.00 pm Monday to Friday; 8.00 am to 2.00 pm Saturdays and not at all on Sundays or bank holidays. Any equipment left running outside of the approved working hours shall be inaudible at the boundary of any occupied dwelling, facilities shall be provided for the damping down to prevent excessive dust and road sweeping shall be carried out at regular intervals.
11. The development hereby permitted shall not be commenced until details have been submitted to and approved in writing by the Local Planning Authority indicating all road construction, street lighting, drainage including longitudinal sections and a satisfactory means of draining roads to an acceptable outfall to SUDS principles which shall thereafter be constructed in accordance with the approved details.
12. No development hereby approved shall be commenced until full details of the following have been submitted to and approved in writing by the Local Planning Authority:
 - provision of parking, turning and servicing within the site curtilage
 - means of surface water drainage
 - surfacing materials



Lloyd Stoddart Development C/O MBD Architecture 74 Newcastle Road Stone Staffordshire ST15 8LB	Date Registered	6 September 2013
	Decision Date	13 March 2014
	Issued Date	25 April 2014

TOWN AND COUNTRY PLANNING ACT 1990

Peñúz

PERMISSION FOR DEVELOPMENT

The development shall thereafter be implemented in accordance with the approved details and be completed prior to first occupation of the development.

- The development hereby permitted shall not be commenced until details of the following off-site highway works have been submitted to and approved in writing by the Local Planning Authority
-Footway across the frontage of the site and connecting into Hixon, broadly in line with drawing 12L76P02 B submitted by email 6th November 2013
The off site highways works shall thereafter be constructed in accordance with the approved details prior to the development being first brought into use.
- The visibility improvements at A51/New Road junction referred to in the Transport Assessment paragraphs 6.1.10 and 6.3.6 shall be kept clear of all obstructions greater than 0.9m in height above the adjacent carriageway level, for the life of the development.
- No part of the development permitted by this consent shall be occupied until a Travel Plan has been submitted to and approved in writing by the Local planning Authority. The Travel plan shall set out proposals (including a timetable) to promote travel by sustainable modes which are acceptable to the Local planning Authority. The Travel Plans shall be implemented in accordance with the timetable set out in that plan unless otherwise agreed in writing by the Local Planning Authority. Reports demonstrating progress in promoting sustainable transport measures shall be submitted annually on each anniversary of the date of the planning consent to the Local planning Authority for approval for a period of five years from first occupation of the development permitted by this consent.



Lloyd Stoddart Development	Date Registered	6 September 2013
C/O MBD Architecture		
74 Newcastle Road	Decision Date	13 March 2014
Stone		
Staffordshire	Issued Date	25 April 2014
ST15 8LB		

TOWN AND COUNTRY PLANNING ACT 1990

PeH/z

PERMISSION FOR DEVELOPMENT

16. The development hereby permitted shall not be commenced until a Construction method statement has been submitted to, and approved in writing by the Local Planning Authority. The approved statement shall be adhered to throughout the construction period. The statement shall provide for:
- i) a site compound;
 - ii) routing of construction vehicles;
 - iii) the parking of vehicles for site operatives and visitors;
 - iv) loading and unloading of plant and materials
 - v) storage of plant and materials used in constructing the development
 - vi) wheel wash facilities
17. No mud, debris or other deleterious materials shall be deposited on the highway during construction. Any that is shall be immediately removed by mechanical means.
18. All works shall be in accordance with the recommendations set out in Leigh Ecology Extended Phase 1 Survey (Report JLD-001) received 11th November 2013.
19. The development hereby permitted shall be carried out in accordance with the mitigation measures set out in the submitted noise assessment report by Echo Affiliates dated 21st January 2014 as amended by the Technical Memorandum dated 7th March 2014.



Lloyd Stoddart Development C/O MBD Architecture 74 Newcastle Road Stone Staffordshire ST15 8LB	Date Registered Decision Date Issued Date	6 September 2013 13 March 2014 25 April 2014
---------------------------------------------------------------------------------------------------------------	-------------------------------------------------	----------------------------------------------------

TOWN AND COUNTRY PLANNING ACT 1990

Refuz

PERMISSION FOR DEVELOPMENT

The reasons for the Council's decision to grant permission for the development subject to the above conditions are:

1. The time limit condition is imposed in order to comply with the requirements of Section 91 of the Town and Country Planning Act 1990.
2. The application has been made for outline permission only.
3. The time limit condition is imposed in order to comply with the requirements of Section 91 of the Town and Country Planning Act 1990.
4. To define the permission.
5. In the interests of amenity and to ensure a satisfactory form of development (Saved policies E&D1 & E&D44 of the Stafford Borough Local Plan 2001).
6. To safeguard the amenities of the local area and to protect the natural features that contribute towards this and that are important in the appearance of the development. (Saved policy E&D44 of the Stafford Borough Local Plan 2001).
7. To safeguard the amenities of the local area and to protect the natural features that contribute towards this and that are important in the appearance of the development.(Saved policy E&D44 of the Stafford Borough Local Plan 2001).
8. To prevent flooding by ensuring the satisfactory storage of/disposal of surface water from the site (Saved Policy E&D50 of the Stafford Borough Local Plan 2001).



Lloyd Stoddart Development C/O MBD Architecture 74 Newcastle Road Stone Staffordshire ST15 8LB	Date Registered Decision Date Issued Date	6 September 2013 13 March 2014 25 April 2014
---------------------------------------------------------------------------------------------------------------	-------------------------------------------------	----------------------------------------------------

TOWN AND COUNTRY PLANNING ACT 1990

PeFuiz

PERMISSION FOR DEVELOPMENT

9. To prevent the increased risk of flooding, both on and off site (Saved Policy E&D50 of the Stafford Borough Local Plan 2001).
10. To safeguard the amenities of the area. (Saved Policy E&D1 (iv) of the Stafford Borough Local Plan 2001).
11. In the interests of the safety and convenience of users of the highway. (Saved Policy MV10 of the Stafford Borough Local Plan 2001).
12. In the interests of the safety and convenience of users of the highway. (Saved Policy MV10 of the Stafford Borough Local Plan 2001).
13. In the interests of the safety and convenience of users of the highway. (Saved Policies MV3 & MV10 of the Stafford Borough Local Plan 2001).
14. In the interests of the safety and convenience of users of the highway. (Saved Policy MV10 of the Stafford Borough Local Plan 2001).
15. In the interests of the safety and convenience of users of the highway. (Saved Policy MV10 of the Stafford Borough Local Plan 2001).
16. In the interests of the safety and convenience of users of the highway. (Saved Policy MV10 of the Stafford Borough Local Plan 2001).
17. In the interests of the safety and convenience of users of the highway. (Saved Policy MV10 of the Stafford Borough Local Plan 2001).
18. In order to ensure that the development does not result in damage or harm to legally protected species or their habitat/roost. (Paragraph 109 of the National Planning Policy Framework).



Lloyd Stoddart Development C/O MBD Architecture 74 Newcastle Road Stone Staffordshire ST15 8LB	Date Registered	6 September 2013
	Decision Date	13 March 2014
	Issued Date	25 April 2014

TOWN AND COUNTRY PLANNING ACT 1990

Pelutz

PERMISSION FOR DEVELOPMENT

19. To safeguard the occupiers of the proposed dwellings from undue noise.
(Saved Policy E&D5 of the Stafford Borough Local Plan 2001).

INFORMATIVE(S)

- 1 The Local Planning Authority consider the proposal to be a sustainable form of development and therefore complies with the provisions of the National Planning Policy Framework.
- 2 The Applicant's attention is drawn to the comments of the Highways Authority.

Head of Planning and Regeneration
On behalf of the Council



Mrs Michelle Price
Chase View Farm
Puddle Hill
Hixon
Staffordshire
ST18 0NG

Date Registered 22 April 2014
Decision Date 17 June 2014
Issued Date 17 June 2014

TOWN AND COUNTRY PLANNING ACT 1990

Paluz

PERMISSION FOR DEVELOPMENT

Application No: 14/20291/OUT
Proposed Development Two bedroom single storey dwelling
Location Chase View Farm Puddle Hill Hixon
O. S. Reference: 400741 325944

Stafford Borough Council, in pursuance of powers under the Town and Country Planning Act, hereby permits the above development in accordance with the accompanying plans and subject to the following conditions :-

1. This is an outline planning permission only and, notwithstanding any information in the application, before any development including demolition is carried out, details of the landscaping, scale, and appearance of the dwellings on the site (the reserved matters) shall be submitted to and be approved in writing by the Local Planning Authority,
2. Application for approval of the reserved matters shall be made to the Local Planning Authority before the expiration of three years from the date of this permission.
3. The development hereby permitted shall be begun before the expiration of two years from the date of approval of the last of the reserved matters to be approved.
4. No more than one dwelling will be constructed.
5. The approved plan is drawing no. DP253/PH1-BBB



Mrs Michelle Price
Chase View Farm
Puddle Hill
Hixon
Staffordshire
ST18 0NG

Date Registered 22 April 2014
Decision Date 17 June 2014
Issued Date 17 June 2014

TOWN AND COUNTRY PLANNING ACT 1990

Pefuz

PERMISSION FOR DEVELOPMENT

6. No development shall take place until details of hard and soft landscaping works have been submitted to and approved in writing by the Local Planning Authority. They shall include finished levels or contours, means of enclosure, vehicle and pedestrian access areas, planting plans, written specifications (including cultivation and other operations associated with plant and grass establishment), schedules of plants noting species, plant sizes and proposed numbers/densities, and implementation programmes. Thereafter the approved works shall be carried out within 8 months of the date of approval of those details and any plants or trees that die, are removed or become damaged or diseased within a period of 5 years from the date of planting shall be replaced with others of similar size and species in the next planting season unless the local planning authority gives written consent to any variation.

7. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 as amended by the Town and Country Planning (General Permitted Development)(Amendment) (No.2)(England) Order 2008 or as may be subsequently amended, in relation to the 2 dwellings hereby approved, no development described in Part 1 of the Schedule under Class A - the enlargement, improvement or other alteration of a dwellinghouse including windows and doors; Class B - enlargement of a dwellinghouse consisting of an addition or alteration to the roof; Class C- any other alteration to the roof; Class D - the erection of construction of a porch; Class E - the provision within the curtilage of a dwellinghouse of (a) any building or enclosure, etc. required for a purpose incidental to the enjoyment of the dwellinghouse and (b) a container for used for domestic heating purposes; Class F - the provision within the curtilage of a dwellinghouse of a hardsurface or its replacement.



Mrs Michelle Price
Chase View Farm
Puddle Hill
Hixon
Staffordshire
ST18 0NG

Date Registered 22 April 2014
Decision Date 17 June 2014
Issued Date 17 June 2014

TOWN AND COUNTRY PLANNING ACT 1990

Refuz

PERMISSION FOR DEVELOPMENT

8. No construction work including demolition and deliveries shall be carried out except between the hours of 08.00 and 18.00 Monday to Friday or between 08.00 and 14.00 on Saturdays. No such work shall be carried out on Sundays or bank/public holidays.
9. There shall be no burning of materials on site throughout demolition and construction and facilities shall be provided at the site and access roadways and used when necessary to damp down to prevent excessive dust and to remove mud on roadways.
10. Any construction plant or equipment left running outside of the specified working hours shall not be audible at the boundary with adjoining residential properties.

The reasons for the Council's decision to grant permission for the development subject to the above conditions are:

1. This is a grant of outline planning permission only.
2. The time limit condition is imposed in order to comply with the requirements of Section 91 of the Town and Country Planning Act 1990.
3. The time limit condition is imposed in order to comply with the requirements of Section 91 of the Town and Country Planning Act 1990.
4. To define the permission.
5. This is an outline planning permission only and due regard has been paid to the size of the site, the amenities of adjacent occupiers and the environmental constraints on the site (Saved Policies E&D1(ii) and (iv) and HOU1 of the Stafford Borough Local Plan 2001)



Mrs Michelle Price
Chase View Farm
Puddle Hill
Hixon
Staffordshire
ST18 0NG

Date Registered 22 April 2014
Decision Date 17 June 2014
Issued Date 17 June 2014

TOWN AND COUNTRY PLANNING ACT 1990

Peluz

PERMISSION FOR DEVELOPMENT

6. To safeguard the character and appearance of the area. (Saved Policy E&D1(ii) of the Stafford Borough Local Plan 2001).
7. In the interests of amenity and to ensure a satisfactory form of development. (Saved Policy E&1(i) and E&D2(i) of the Stafford Borough Local Plan 2001).
8. To safeguard the occupiers of nearby residential properties from undue noise and general disturbance. (Saved Policy E&D1(iv) of the Stafford Borough Local Plan 2001).
9. To safeguard occupiers of nearby residential properties from nuisance caused by fumes, dust and smell. (Saved Policy E&D1(iv) of the Stafford Borough Local Plan 2001).
10. To safeguard the area from undue noise. (Saved Policy E&D1(iv) of the Stafford Borough Local Plan 2001).



Mrs Michelle Price
Chase View Farm
Puddle Hill
Hixon
Staffordshire
ST18 0NG

Date Registered 22 April 2014
Decision Date 17 June 2014
Issued Date 17 June 2014

TOWN AND COUNTRY PLANNING ACT 1990

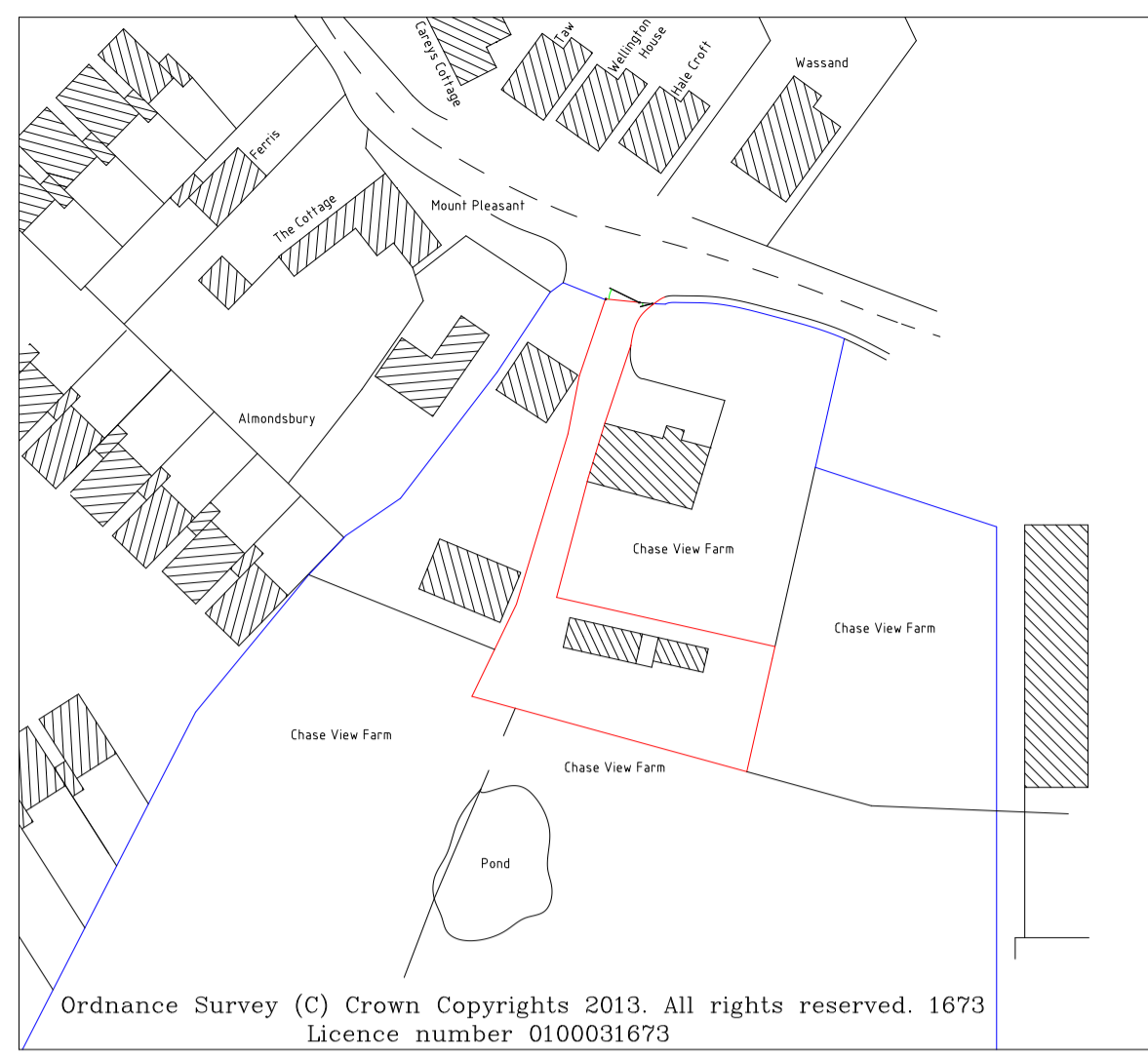
Peutz

PERMISSION FOR DEVELOPMENT

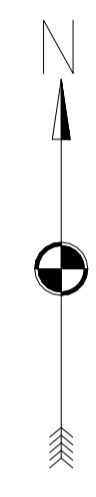
INFORMATIVE(S)

- 1 The Local Planning Authority consider the proposal to be a sustainable form of development and therefore complies with the provisions of the National Planning Policy Framework.
- 2 The applicant's attention is drawn to the comments of the County Public Rights of Way Officer on planning application number 13/19764/OUT

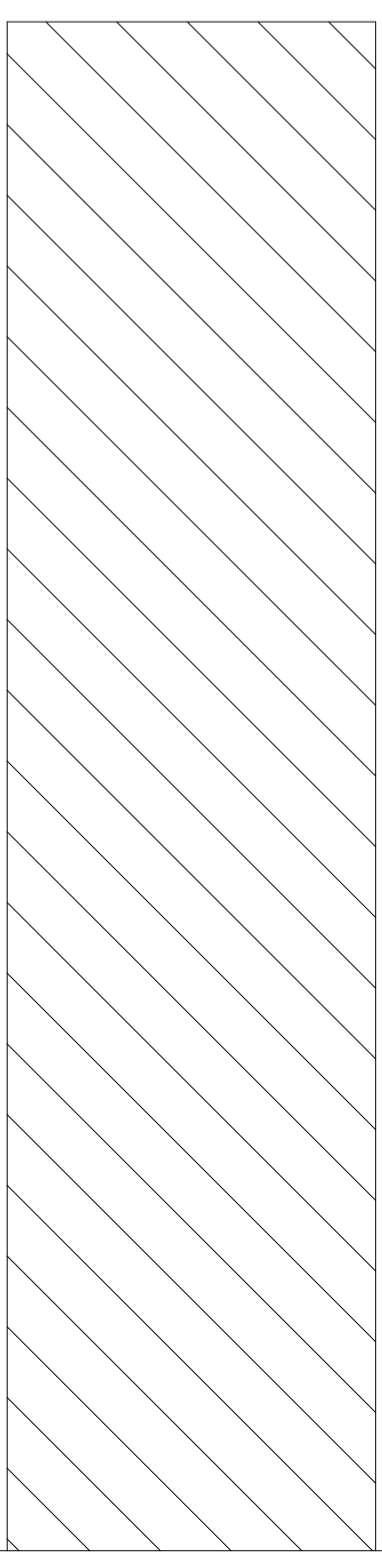
Head of Planning and Regeneration
On behalf of the Council



LOCATION PLAN
SCALE 1:1250



Client	
MR & MRS. I. PRICE	
Project	
RESIDENTIAL DEVELOPMENT CHASE VIEW FARM PUDDLE HILL, HIXON	
Drawing	
PROPOSED LAYOUT.	
Scale 1:200.	Sheet size A1
Drawn by D.P.	Date 25/3/2014
Drawing No	DP253/PH1-BBB



Single storey dwelling
93 Sq Metres

PEDESTRIAN PUBLIC RIGHT OF WAY

Chase View Farm

PUDDLE HILL

Ferrers

The Cottage

Mount Pleasant

Almondsbury

Careys Cottage

Ta

Wellington House

H Croft

Wassand

1

13