

Pasturefields R.I.E. 5

Number	Location	Application Number	Decision	Decision Notice	Location Plan
1	Bri Stor Systems Limited, Hixon Industrial Estate, Church Lane, Hixon	14/20610/FUL	Approved	Yes	13L68 P05
2	Land Adjacent To Units 3 To 4, Neptune Business Park, London Road, Pasturefields	14/21190/FUL	Approved	Yes	1428-200-C
3	Land Adjacent To Units 3 To 4, Neptune Business Park, London Road, Pasturefields	13/19150/FUL	Approved	Yes	TBS-003 Rev E



Bri-Store Systems Ltd
C/O MBD Architecture
74 Newcastle Road
Stone
Staffordshire
ST15 8LB

Date Registered 22 July 2014
Decision Date 4 November 2014
Issued Date 5 November 2014

TOWN AND COUNTRY PLANNING ACT 1990
PERMISSION FOR DEVELOPMENT

Application No: 14/20610/FUL

Proposed Development Single-storey factory extension for B1, B2 and B8 uses to be constructed in two phases, along with vehicle parking and manoeuvring areas

Location Bri Stor Systems Limited Hixon Industrial Estate Church Lane

O. S. Reference: 399884 324916

Stafford Borough Council, in pursuance of powers under the Town and Country Planning Act, hereby permits the above development in accordance with the accompanying plans and subject to the following conditions :-

1. The development to which this permission relates must be begun not later than the expiration of three years beginning with the date on which this permission is granted.



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2. The development shall be implemented in accordance with the approved documents to which this permission relates comprising: Application for Planning Permission forms dated 09 June 2014; drawing numbers 13L68 P01 C, 13L68 P01 C 13L68 P01 C, 13L68 P02 B, 13L68 P03 B, 13L68 P04 A, 13L68 P05, 13L68 P06 A, 12670 100, 12670 101 and 12670 110; Design and Access Statement (Ref: 13L68) dated June 2014; Specification for Landscaping Works; Preliminary Ecological Appraisal (Report P29.T20.14 Staffordshire Ecological Services) dated 31 March 2014; Transport Assessment (Access Highway Design Planning Consultancy Ltd) dated July 2014 and the accompanying traffic movement details; Flood Risk Assessment (Evans Rivers and Coastal Ltd Ref:1241/RE/03-14/01) dated July 2014; Drainage Strategy Revision A (aba consulting Ref:12670) dated 04 August 2014 and subsequent Annotated Extracts (AP 05/08/14); Flood Modelling Assessment (Evans Rivers and Coastal Ltd Ref:1241/RE/03-14/02) dated August 2014; and Storm Event Graphical Output Plans dated 05/08/14, except as may otherwise be required by conditions attached to this consent.
3. All planting and landscaping works shall be undertaken in accordance with the submitted Specification for Landscaping Works within 8 months of Phase 1 of the extension being completed. The landscaping and planting shall subsequently be maintained in accordance with the approved Specification. Any plants or trees that are removed or die or become seriously damaged or diseased within a period of five years from the date of planting shall be replaced with others of similar size and species in the next planting season, unless the local planning authority gives written consent to any variation.



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4. No development shall take place until details of the final design for the disposal of surface water and foul sewage based on the principles set out in the Flood Risk Assessment and associated drainage strategy have been submitted to and approved in writing by the local planning authority. The scheme shall subsequently be implemented in accordance with the approved details before the development is first brought into use.
5. The development hereby permitted shall not be commenced until details of off-site highway works, namely the improvements to the access on Pasturefields Lane have been submitted to and approved in writing by the local planning authority. The approved off-site highway works shall subsequently be constructed in accordance with the approved details prior to the development being first brought into use.
6. No development works including any demolition to be undertaken until a Highways Construction Method Statement has been approved. The Statement should provide for: a site compound with associated temporary buildings; parking of vehicles of site operatives and visitors; loading and unloading of plant and materials; storage of plant and materials used in constructing the development; wheel wash facilities. The approved Statement shall subsequently be adhered to throughout the construction period.
7. The development hereby permitted shall not be brought into use until the access to the site within the limits of the public highway has been completed.



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8. The development hereby permitted shall not be brought into use until the 2.4 metres by 120 metres visibility splay from Pasturefields Lane to the south across the site frontage and from the existing site access off Church Lane to the north across the site have been provided in accordance with details to be first submitted to and approved in writing by the local planning authority. Once provided the visibility splay shall thereafter be kept free of all obstructions to visibility in excess of a height of 900 mm above the adjacent carriageway level.
9. The hedge on the frontage of Church Lane shall be cut back and maintained such that a visibility splay is maintained.
10. The development shall not be brought into use until a Travel Plan including outcomes and measures has been put into place in accordance with details which shall have first been submitted to and approved in writing by the local planning authority.
11. Prior to the commencement of development details of all hardsurfaced areas within the site including car parking, servicing, internal access roads and footpaths shall be submitted to and approved in writing by the local planning authority. All hardsurfaced areas shall subsequently be constructed in accordance with the approved details.
12. No part of the extended building shall be brought into use until the car parking facilities set out on drawing number 13L68 P04A have been brought into use. Once provided the approved car parking facilities shall thereafter be retained for such purposes.



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13. The development shall be undertaken in full accordance with the precautionary measures set out in the Preliminary Ecological Appraisal (Report P29.T20.14 Staffordshire Ecological Services) dated 31 March 2014 submitted with the application.
14. Works shall not be undertaken in the bird nesting season (March to August) unless it can be demonstrated that breeding birds will not be affected, through the submission, approval in writing by the local planning authority and subsequent implementation in accordance with the approved details of a method statement for the protection/avoidance of nesting birds. This may include timing of work, pre-work checks, avoiding nesting areas etc.

The reasons for the Council's decision to grant permission for the development subject to the above conditions are:

1. The time limit condition is imposed in order to comply with the requirements of Section 91 of the Town and Country Planning Act 1990.
2. To define the permission.
3. To enhance the appearance of the development. (Policies N1 g and h of The Plan for Stafford Borough).
4. To ensure that the development is provided with a satisfactory means of drainage as well as to prevent flooding by ensuring the satisfactory storage of/disposal of surface water from the site. (Policy N2 of The Plan for Stafford Borough)
5. In the interests of the safety and convenience of users of the highway. (Policy T1c of The Plan for Stafford Borough).



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6. In the interests of the safety and convenience of users of the highway. (Policy T1c of The Plan for Stafford Borough).
7. In the interests of the safety and convenience of users of the highway. (Policy T1c of The Plan for Stafford Borough).
8. In the interests of the safety and convenience of users of the highway. (Policy T1c of The Plan for Stafford Borough).
9. In the interests of the safety and convenience of users of the highway. (Policy T1c of The Plan for Stafford Borough).
10. In the interests of seeking to achieve a sustainable transport system. (Policy T1 (a) of The Plan for Stafford Borough).
11. To ensure that all parking, access and manoeuvring areas can be used conveniently and in all weather. (Policy T2a of The Plan for Stafford Borough).
12. To ensure the provision of adequate off-street facilities in the interests of the convenience and safety of users of the highway. (Policy T2d of The Plan for Stafford Borough).
13. In order to ensure that the development does not result in damage or harm to legally protected species or their habitat/roost. (Policy N4 (c) and (f) of The Plan for Stafford Borough).
14. In order to ensure that the development does not result in damage or harm to legally protected species or their habitat/roost. (Policy N4 (c) and (f) of The Plan for Stafford Borough).



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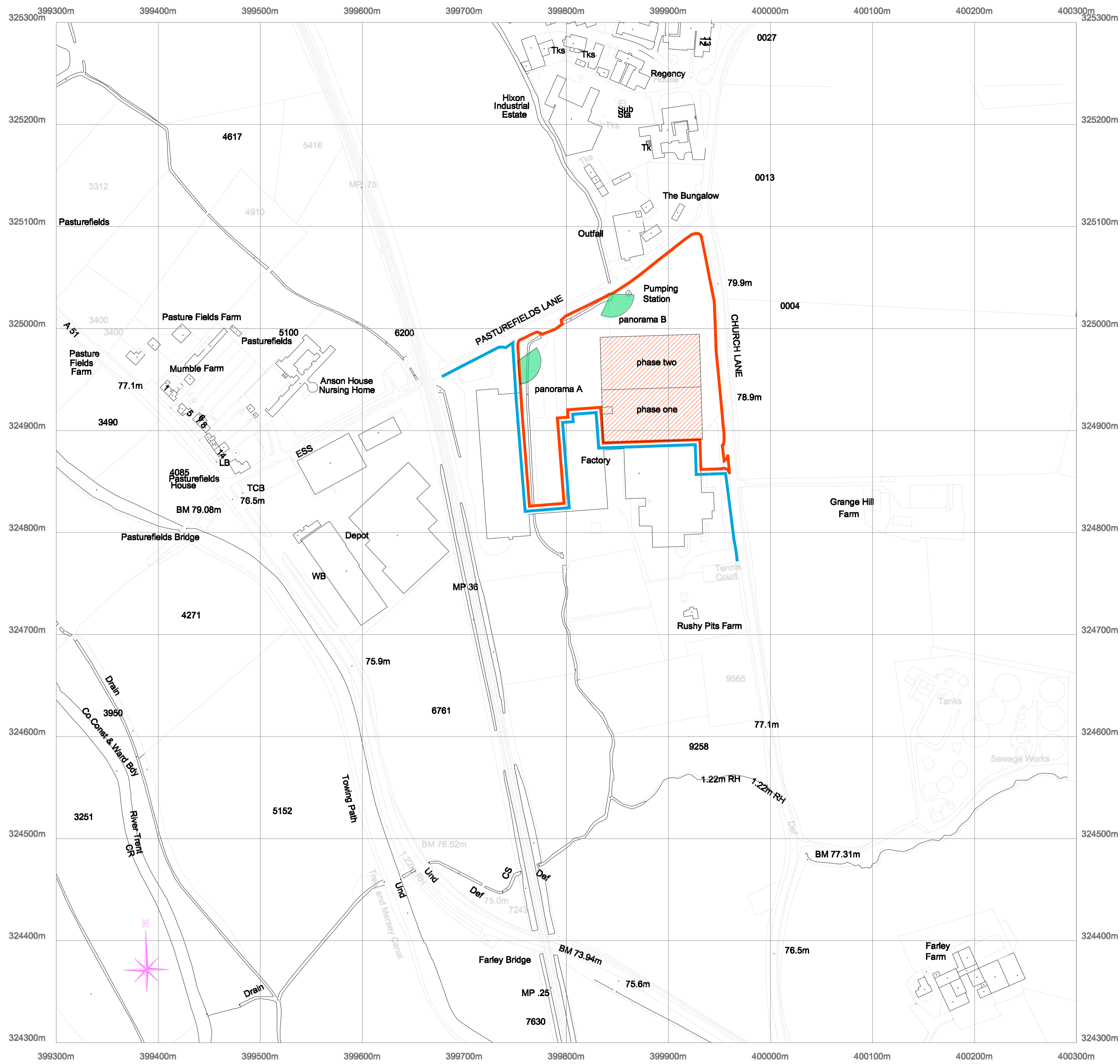
TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

INFORMATIVE(S)

- 1 The local planning authority considers the proposal to be a sustainable form of development and therefore complies with the provisions of the National Planning Policy Framework.
- 2 That the applicant's attention be drawn to the comments of the highway authority, the Staffordshire County Council Flood Team, Severn Trent Water, the Head of Environmental and Health Services, the Borough Biodiversity Officer and the Police Architectural Liaison Officer contained in the attached letters.

Head of Planning and Regeneration
On behalf of the Council



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location plan 1:2500



panorama A



panorama B

revisions:	
<p>This drawing is the property of MBD architecture Ltd. Copyright is reserved by them and the drawing is issued on the condition that it is not copied either wholly or in part without the consent in writing of MBD architecture Ltd. Figured dimensions are to take preference over those scaled. All dimensions to be checked on site before commencement of any work or shop drawings. This drawing to be read in conjunction with the specification when a specification exists.</p>	
project:	FACTORY AND OFFICES EXTENSION
site:	LAND AT CHURCH LANE, HIXON, STAFFS
client:	BRI STOR SYSTEMS LTD
<p>MBD architecture ARCHITECTURE AND PLANNING CONSULTANTS CDM coordinators</p> <p>74 Newcastle Road Stone Staffordshire ST15 8LB Tel: 01785 814822 Fax: 01785 286587 Email: mbd@jha.co.uk</p>	
drawing:	LOCATION PLAN PHOTOGRAPHS
scale:	1:2500
drawing number:	13L68 P05
date:	4/4/14
plot:	A1/1:500



AJW Property Services
C/O Lufton & Associates
FAO Mr Hugh Lufton
4 Beechcroft Avenue
Stafford
Staffordshire
ST16 1DB
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Date Registered 4 December 2014
Decision Date 27 January 2015
Issued Date 27 January 2015

PeLdz

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

Application No: 14/21190/FUL
Proposed Development Location Warehouse unit with parking, balancing pond and closure of existing access
Land Adjacent To Units 3 To 4 Neptune Business Park London Road
O. S. Reference: 399691 324534

Stafford Borough Council, in pursuance of powers under the Town and Country Planning Act, hereby permits the above development in accordance with the accompanying plans and subject to the following conditions :-

1. The development to which this permission relates must be begun not later than the expiration of three years beginning with the date on which this permission is granted.
2. This permission relates to the originally submitted details and specification and to the following drawings, except where indicated otherwise by a condition attached to this consent, in which case the condition shall take precedence:-
1428 - 200 - C Location plans as existing and proposed;
1428 - 201 - E Site plans as existing and proposed;
1428 - 220 - A Proposed plan and main elevation;
1428 - 250 - A Proposed elevations and roof plans.
3. The development permitted by this planning permission shall only be carried out in accordance with the approved Flood Risk Assessment (FRA) ref 8144 Rev B dated 22 September 2014 and Drainage Layout drawing 8144/100 Rev D dated 19 September 2014 and the following mitigation measures details:



AJW Property Services
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Date Registered 4 December 2014
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Issued Date 27 January 2015

Pefuz

TOWN AND COUNTRY PLANNING ACT 1990

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- Limiting the surface water run-off generated by the 100 year plus 20% critical storm so that it will not exceed 7 l/s and not increase the risk of flooding off-site.
 - Finished floor levels are set no lower than 75.75m above Ordnance Datum (AOD).
4. Before the development is brought into use all parking bays shall be clearly delineated in accordance with Drawing No. 1428 - 201 - E and retained for the life of the development.
 5. Before the development is brought into use, the existing southerly site access made redundant as a consequence of the development shall be permanently closed and the access crossing reinstated as footway with full height kerbs.
 6. Prior to first use of the development, secure (and weatherproof) cycle parking shall be provided in accordance with details to be first submitted to and approved in writing by the Local Planning Authority and shall thereafter be retained and maintained for the life of the development.
 7. Prior to the commencement of the development details of the balancing pond shall be submitted to, and approved in writing by the Local Planning Authority in association with Network Rail.
 8. Prior to the commencement of the development full details of ground levels, earthworks and excavations to be carried out near to the railway boundary shall be submitted to and approved in writing by the Local Planning Authority in association with Network Rail.
 9. No external lighting, including security lighting, shall be erected without the prior written approval of the Local Planning Authority.



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10. The landscaping and planting scheme shown on drawing 1428-201 revision E shall be implemented within eight months of the development being brought into use. Any tree, hedge or shrub planted as part of the approved landscaping scheme (or replacement tree/hedge) on the site and which dies or is lost through any cause during a period of 5 years from the date of first planting shall be replaced in the next planting season.
11. Notwithstanding any description/details of external materials in the application documents, and before the commencement of development, precise details or samples of the materials to be used in the construction of the external wall(s) and) roof(s) of the building(s) shall be submitted to and approved in writing by the Local Planning Authority. The development shall thereafter be implemented in accordance with the approved details.

The reasons for the Council's decision to grant permission for the development subject to the above conditions are:

1. The time limit condition is imposed in order to comply with the requirements of Section 91 of the Town and Country Planning Act 1990.
2. To define the permission.
3. To reduce the risk of flooding to the proposed development and future occupants. (Policy SP7 of the Plan for Stafford Borough).
4. To ensure adequate parking is available to serve the development. (Policy T2 of the Plan for Stafford Borough).



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5. In the interests of highway safety. (Policy T2 of the Plan for Stafford Borough).
6. To ensure adequate provision of cycle storage. (Policy T2 of the Plan for Stafford Borough).
7. To protect the adjacent railway from the risk of flooding and pollution. (Policy N2 of the Plan for Stafford Borough).
8. To protect the adjacent railway. (Policy N2 of the Plan for Stafford Borough).
9. To protect the amenity of this rural area. (Policy N1 of the Plan for Stafford Borough).
10. To safeguard the character and appearance of the area (Policy N1h of The Plan for Stafford Borough).
11. To ensure the satisfactory appearance of the development (Policies N1 g and h of The Plan for Stafford Borough).

INFORMATIVE(S)

- 1 The Local Planning Authority has worked in a positive and proactive manner in dealing with this application and following the applicant's amendment of the plans, the proposal is considered to be a sustainable form of development and therefore complies with the provisions of the National Planning Policy Framework.
- 2 The applicants attention is drawn to the comments of Network Rail, Highway Authority and the Environmental Health Officer in the attached letters.



AJW Property Services
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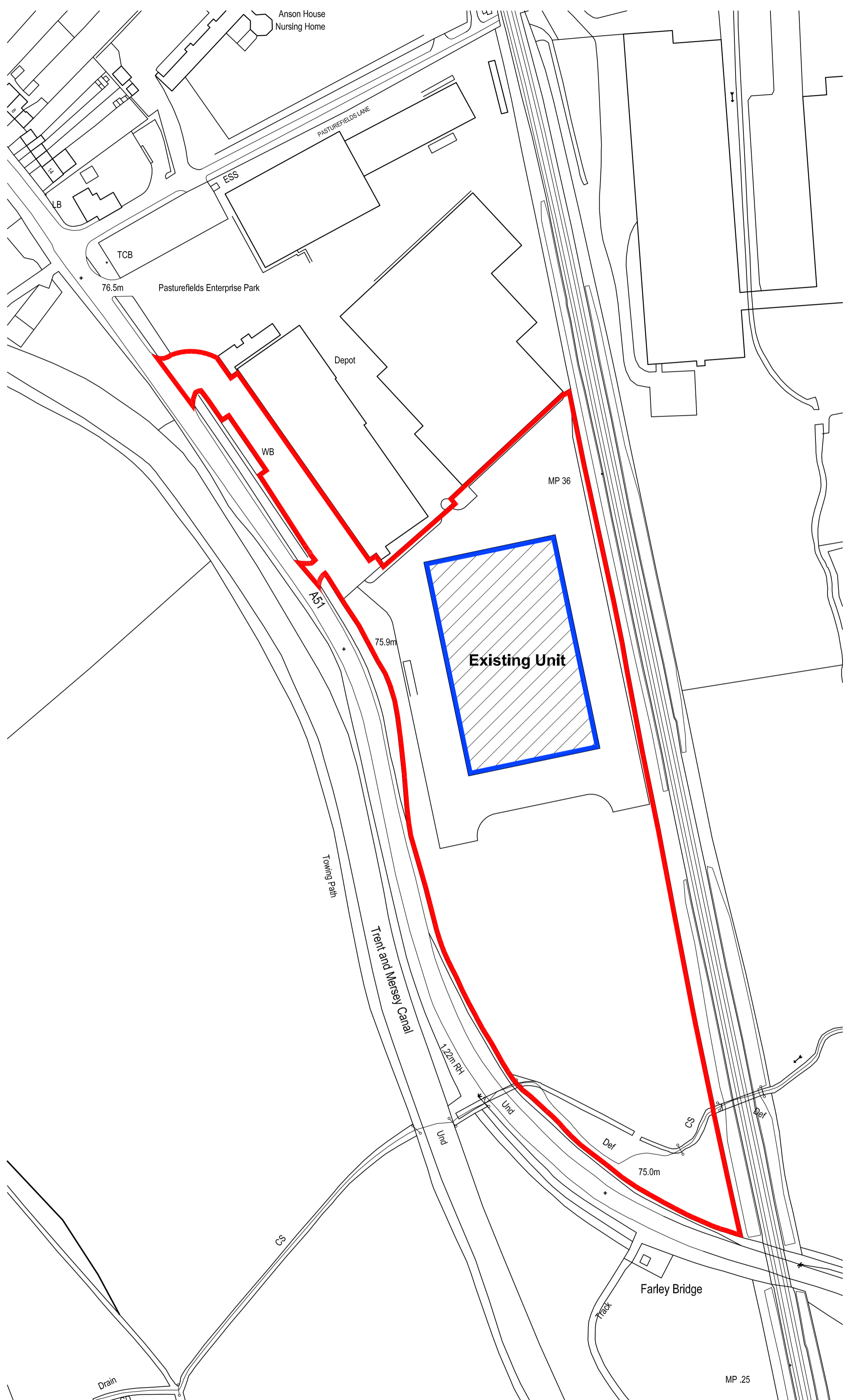
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TOWN AND COUNTRY PLANNING ACT 1990

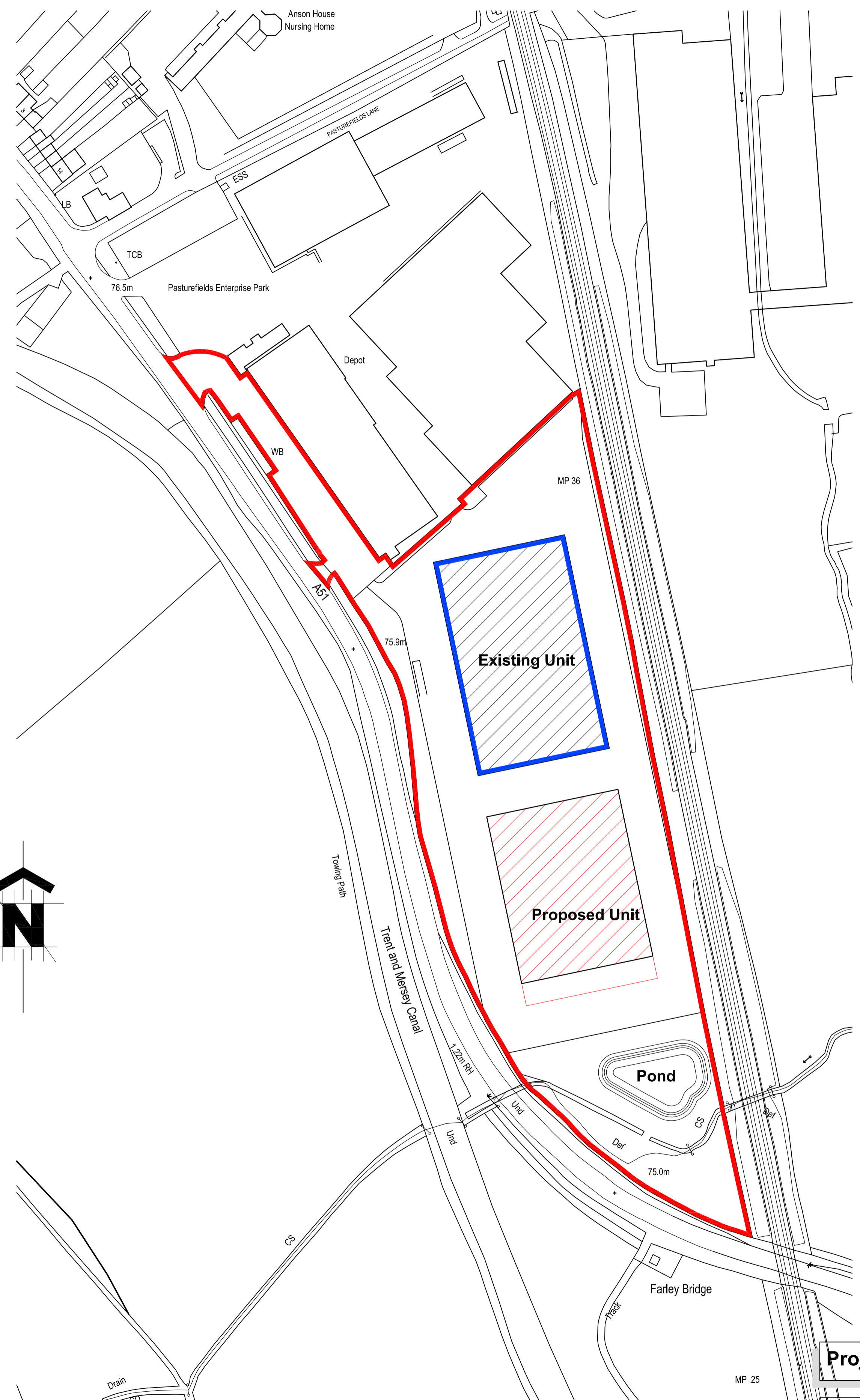
PERMISSION FOR DEVELOPMENT

Head of Planning and Regeneration
On behalf of the Council



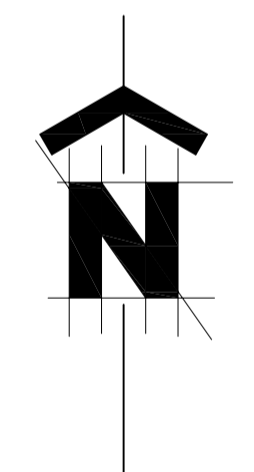
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Location Plan As Existing - Scale 1:1250



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Location Plan As Proposed - Scale 1:1250



Neptune Business Park, Pasturefields, Great Haywood, Stafford, Staffordshire

PAPER SIZE A1

Project Details: Proposed new B8 industrial unit

Drawing Title : Location plans as existing & proposed

Scale:
As Stated

Client : AJW Property Services

Drawing Number: 1428 - 200 - C

Drawn By:
Ben Todd-Jones

Rev.	Description.
-	1st Publication: 19/08/2014
A	2nd Publication: 08/10/2014 Minor amendments prior to planning submission
B	3rd Publication: 25/10/2014 Vehicle access shown as blocked up on proposed site
C	4th Publication: 29/10/2014 Vehicle access shown as blocked up included within red boundary line



Air And Ground Ltd C/O Hutchinsons	Date Registered	28 August 2013
FAO Mrs Alison Hutchinson 15 Castle Gardens	Decision Date	22 October 2013
Kimbolton Huntingdon Cambridgeshire PE28 0JE	Issued Date	22 October 2013

Pafuz

TOWN AND COUNTRY PLANNING ACT 1990

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3. Before the development is commenced, a detailed landscaping and planting scheme shall be submitted to and approved by the local planning authority to include the formation of relocated soil bund along the western and southern boundaries of the application site as shown on approved drawing number TBS-004 B. The approved landscaping and planting scheme subsequently be shall be implemented within eight months of the development being brought into use. Any tree, hedge or shrub planted as part of the approved landscaping scheme on the site and which dies or is lost through any cause during a period of 5 years from the date of first planting shall be replaced in the next planting season.
4. The development shall not be brought into use until the space(s) for the parking and manoeuvring of vehicles has been provided and surfaced in accordance with the details shown on the approved drawing numbers TBS-001 D, TBS-002 B and TBS-003 E and once provided the space(s) shall thereafter be retained for those purposes.

The reasons for the Council's decision to grant permission for the development subject to the above conditions are:

1. The time limit condition is imposed in order to comply with the requirements of Section 91 of the Town and Country Planning Act 1990.
2. To define the permission.
3. To enhance the appearance of the development. (Saved Policy E&D1 (iv) of the Stafford Borough Local Plan 2001).



Air And Ground Ltd C/O Hutchinsons	Date Registered	28 August 2013
FAO Mrs Alison Hutchinson 15 Castle Gardens	Decision Date	22 October 2013
Kimbolton Huntingdon Cambridgeshire PE28 0JE	Issued Date	22 October 2013

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4. To ensure the provision of adequate on - site parking space. (Saved Policy MV10 (f) of the Stafford Borough Local Plan 2001)

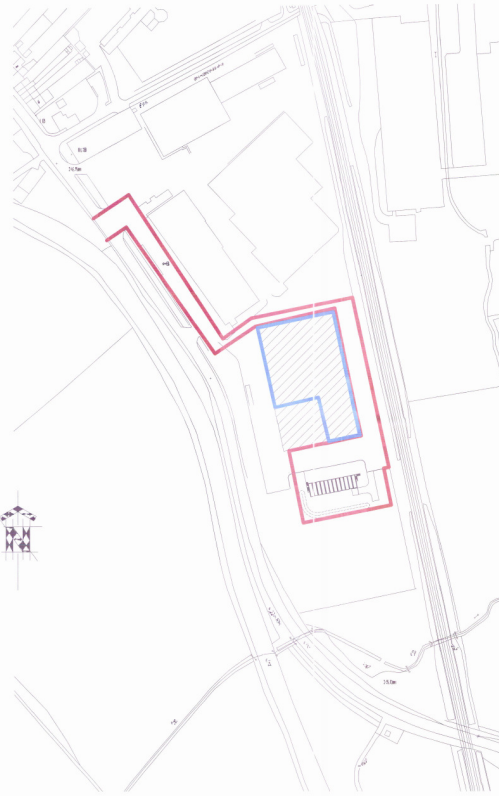
INFORMATIVE(S)

- 1 The Local Planning Authority considers the proposal to be a sustainable form of development and therefore complies with the provisions of the National Planning Policy Framework

Head of Planning and Regeneration
On behalf of the Council



SITE LOCATION PLAN AS EXISTING - SCALE 1:1250



SITE LOCATION PLAN AS PROPOSED - SCALE 1:1250

RECEIVED
23 APR 2012

E	PROPOSED DEVELOPMENT WORKS	PROPOSED DEVELOPMENT WORKS
D	PROPOSED DEVELOPMENT WORKS	PROPOSED DEVELOPMENT WORKS
C	PROPOSED DEVELOPMENT WORKS	PROPOSED DEVELOPMENT WORKS
B	EXISTING DEVELOPMENT WORKS	EXISTING DEVELOPMENT WORKS
A	EXISTING DEVELOPMENT WORKS	EXISTING DEVELOPMENT WORKS

ALL : NEPTUNE BUSINESS PARK
 THE : PATERFIELD RD - STAFFORDSHIRE
 TEAM : NEPTUNE BUSINESS PARK
 DRAWING : PLANNING DRAWING - SITE LOCATION PLAN
 SHEET NO : 001
 DATE : 2012
 DRAWN BY : J. STEVENS
 CHECKED BY : E.

CABINS
 CONSULTANTS