

Eccleshall – Applications within the Settlement Boundaries

Number	Location	Application Number	Decision	Decision Notice	Location Plan
1	Land At Stafford Road, Eccleshall, Stafford	15/22533/REM 14/20665/OUT	Approved Approved	Yes Yes	ECCL-02-001A BIR.4422_15 B
2	Land Off Cross Butts, Eccleshall, Stafford	15/22311/FUL	Approved (Subject to the signing of the 106 agreement)	Not available yet- see Officers Report	End of Officers Report
3	Bishop Lonsdale School, Shaws Lane, Eccleshall	10/14168/OUT	Approved	yes	FC/1



Bovis Homes Ltd FAO Mr Christopher Conlon Dunston Hall Dunston Stafford ST18 9AB	Date Registered Decision Date Issued Date	2 July 2015 25 November 2015 25 November 2015
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TOWN AND COUNTRY PLANNING ACT 1990

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PERMISSION FOR DEVELOPMENT

Application No:	15/22533/REM
Proposed Development	Residential development up to a maximum of 130 dwellings, public open space, green infrastructure and associated works
Location	Land At Stafford Road Eccleshall Stafford
O. S. Reference:	383807 328962

Stafford Borough Council, in pursuance of powers under the Town and Country Planning Act, hereby permits the above development in accordance with the accompanying plans and subject to the following conditions :-

1. This permission relates to the originally submitted details and specification and to the following drawings, except where indicated otherwise by a condition attached to this consent or the conditions attached to the outline consent, in which case the condition shall take precedence:-
 - ECCL-02-001A- Location Plan
 - ECCL-02-002D- Planning Layout
 - ECCL-02-003D- External Works Layout
 - ECCL-02-004D- Materials Layout
 - ECCL-02-005D- Storey Heights Layout
 - ECCL-02-006D- Affordable Housing Layout
 - ECCL-02-010C- Typical Street Scenes
 - ECCL-02-020C- Material Schedule- Plots 1-34
 - ECCL-02-021C- Material Schedule- Plots 35-68
 - ECCL-02-022A- Material Schedule- Plots 69-102
 - ECCL-02-023A- Material Schedule- Plots 103-130 and Substation
 - ECCL-GAR-01- Proposed Garages
 - ECCL-TYPE A-01- Type A- Plans
 - ECCL-TYPE A-02- Type A- Elevations



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ECCL-TYPE B-01- Type B- Plans
ECCL-TYPE B-02- Type B- Elevations
ECCL-TYPE B2-01- Type B2- Plans
ECCL-TYPE B2-02- Type B2- Elevations
ECCL-TYPE B2-03- Type B2- Elevations
ECCL-TYPE C-01- Type C- Plans
ECCL-TYPE C-02- Type C- Elevations
ECCL-TYPE C-03- Type C- Elevations
ECCL-TYPE C1-01- Type C1- Plans
ECCL-TYPE C1-02- Type C1- Elevations
ECCL-TYPE D-01- Type D- Plans
ECCL-TYPE D-02- Type D- Elevations
ECCL-TYPE D-03- Type D- Elevations
ECCL-TYPE E-01- Type E- Plans
ECCL-TYPE E-02- Type E- Elevations
ECCL-TYPE E-03- Type E- Elevations
ECCL-TYPE F-01- Type F- Plans
ECCL-TYPE F-02- Type F- Elevations
ECCL-TYPE F1-01- Type F1- Plans
ECCL-TYPE F1-02- Type F1- Elevations
ECCL-TYPE G-01- Type G- Plans
ECCL-TYPE G-02- Type G- Elevations
ECCL-TYPE H-01- Type H- Plans
ECCL-TYPE H-02- Type H- Elevations
ECCL-TYPE J-01- Type J- Plans
ECCL-TYPE J-02- Type J- Elevations
ECCL-TYPE K-01- Type K- Plans
ECCL-TYPE K-02- Type K- Elevations
ECCL-TYPE L-01- Type L- Plans
ECCL-TYPE L-02- Type L- Elevations
ECCL-TYPE S2-01- Type S2- Plans
ECCL-TYPE S2-02- Type S2- Elevations



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ECCL-TYPE S3-01- Type S3- Plans
ECCL-TYPE S3-02- Type S3- Elevations
ECCL-TYPE S4-01- Type S4- Plans
ECCL-TYPE S4-02- Type S4- Elevations
ECCL-03-081C- Tree Retention/ Removal/ Protection Plan
ECCL-03-100D- Plot Landscape Masterplan- Sheet 1 of 4
ECCL-03-100D- Plot Landscape Masterplan- Sheet 2 of 4
ECCL-03-100D- Plot Landscape Masterplan- Sheet 3 of 4
ECCL-03-100D- Plot Landscape Masterplan- Sheet 4 of 4
ECCL-03-101D- Plot Landscape Specification
ECCL-03-102- Soft Bare Root Tree Pit Detail
ECCL-03-103- Soft Root Ball Tree Pit Detail
ECCL-03-105D- Public Open Space Proposals- MUGA, LEAP and LAPS- Sheet 1 of 3
ECCL-03-105E- Public Open Space Proposals- MUGA, LEAP and LAPS- Sheet 2 of 3
ECCL-03-105C- Public Open Space Proposals- MUGA, LEAP and LAPS- Sheet 3 of 3
ECCL-03-107D- POS Landscape- Sheet 1 of 3
ECCL-03-107D- POS Landscape- Sheet 2 of 3
ECCL-03-107D- POS Landscape- Sheet 3 of 3
ECCL-03-108D- POS Landscape Specification
ECCL-03-109A- Bat and Bird box locations
ECCL-05-600A- Engineering Layout- Sheet 1
ECCL-05-601A- Engineering Layout- Sheet 2
ECCL-05-602B- Engineering Layout- Sheet 3
ECCL-05-603B- Engineering Layout- Sheet 4
ECCL-05-604A- Engineering Layout- Sheet 5
ECCL-05-605A- Engineering Layout- Sheet 6



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PERMISSION FOR DEVELOPMENT

2. Development shall be carried out in accordance with the approved landscaping schedules. Any plants or trees that are removed or die or become seriously damaged or diseased within a period of 5 years from the date of planting shall be replaced with others of similar size and species in the next planting season, unless the local planning authority gives written consent to any variation.
3. In this condition "retained tree" means an existing tree, which is to be retained in accordance with the approved plans and particulars; and paragraphs (a) and (b) below shall have effect until the expiration of 5 years from the date of the occupation of the building for its permitted use.
 - (a) No retained tree shall be cut down, uprooted or destroyed, nor shall any retained tree be topped or lopped other than in accordance with the approved plans and particulars, without the written approval of the local planning authority. Any topping or lopping approved shall be carried out in accordance with British Standard BS 3998:2010 Tree Work.
 - (b) If any retained tree is removed, uprooted or destroyed or dies, another tree shall be planted at the same place and that tree shall be of such size and species, and shall be planted at such time, as may be specified in writing by the local planning authority.



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PERMISSION FOR DEVELOPMENT

- All trees, shrubs, hedges and bushes which are to be retained in accordance with the approved plans and particulars shall be protected in accordance with the submitted Tree Protection Plan (Drawing Number 03-081 Rev C). This shall include establishing a Root Protection Area (RPA) around each tree, shrub, hedgerow or bush, in accordance with the recommendations of BS 5837: 2012. All RPAs must be enclosed by suitable fencing, as specified by BS 5837: 2012 or as agreed in writing with the local authority or, where specifically approved, protected using ground protection measures to the satisfaction of the local planning authority. No works or alterations to existing ground levels or surfaces shall be undertaken within the RPAs without the prior written approval of the local planning authority. No materials, equipment or vehicles are to enter or be stored within the RPAs. No materials that are likely to have an adverse effect on tree health such as oil, bitumen or cement will be stored or discharged within the RPAs. No fires will be lit within 20 metres of the trunk of any tree that is to be retained. All tree protection measures shall be agreed in writing with the local planning authority and their installation undertaken before any equipment, machinery or materials are brought on to the site for the purposes of the development, and shall be maintained until all equipment, machinery and surplus materials have been removed from the site.
- Where the approved plans and particulars indicated that specialized construction work is to take place within the Root Protected Area (RPA) of any retained trees, hedgerows or shrubs, prior to the commencement of any development works, an Arboricultural Method Statement (AMS) detailing how any approved construction works will be carried out shall be submitted and agreed in writing by the local planning authority. The AMS shall include details on when and how the works will be take place and be managed and how the trees etc. will be adequately protected during such a process.



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6. All garages shall be retained for the parking of vehicles and shall not be used as or converted to habitable accommodation at any time.
7. Individual plots within the development shall not be brought into use until the access and parking areas to that individual plot have been completed.
8. Proposed materials shall be fully in accordance with the following plans unless otherwise agreed with the Local Planning Authority.
 - ECCL-02-004D- Materials Layout
 - ECCL-02-020C- Material Schedule- Plots 1-34
 - ECCL-02-021C- Material Schedule- Plots 35-68
 - ECCL-02-022A- Material Schedule- Plots 69-102
 - ECCL-02-023A- Material Schedule- Plots 103-130 and Substation

The reasons for the Council's decision to grant permission for the development subject to the above conditions are:

1. To define the permission.
2. In the interests of amenity and to ensure a satisfactory form of development (Policy N4 The Natural Environment and Green Infrastructure)
3. To safeguard the amenities of the local area and to protect the natural features that contribute towards this and that are important in the appearance of the development. (Policy N4 The Natural Environment and Green Infrastructure)



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PERMISSION FOR DEVELOPMENT

4. To safeguard the amenities of the local area and to protect the natural features that contribute towards this and that are important in the appearance of the development. (Policy N4 The Natural Environment and Green Infrastructure)
5. To safeguard and protect the retained natural features that contribute to the amenity of the local area and that are important to the appearance of the development. (Policy N4 The Natural Environment and Green Infrastructure)
6. In the interests of the safety and convenience of users of the highway. (Policy T1c of The Plan for Stafford Borough).
7. In the interests of the safety and convenience of users of the highway. (Policy T1c of The Plan for Stafford Borough).
8. To safeguard the character and appearance of the area (Policy N1h of The Plan for Stafford Borough).

INFORMATIVE(S)

- 1 The Local Planning Authority consider the proposal to be a sustainable form of development and therefore complies with the provisions of the National Planning Policy Framework.
- 2 That the applicants attention be drawn to the comments of the Highway Authority contained in the attached letter.



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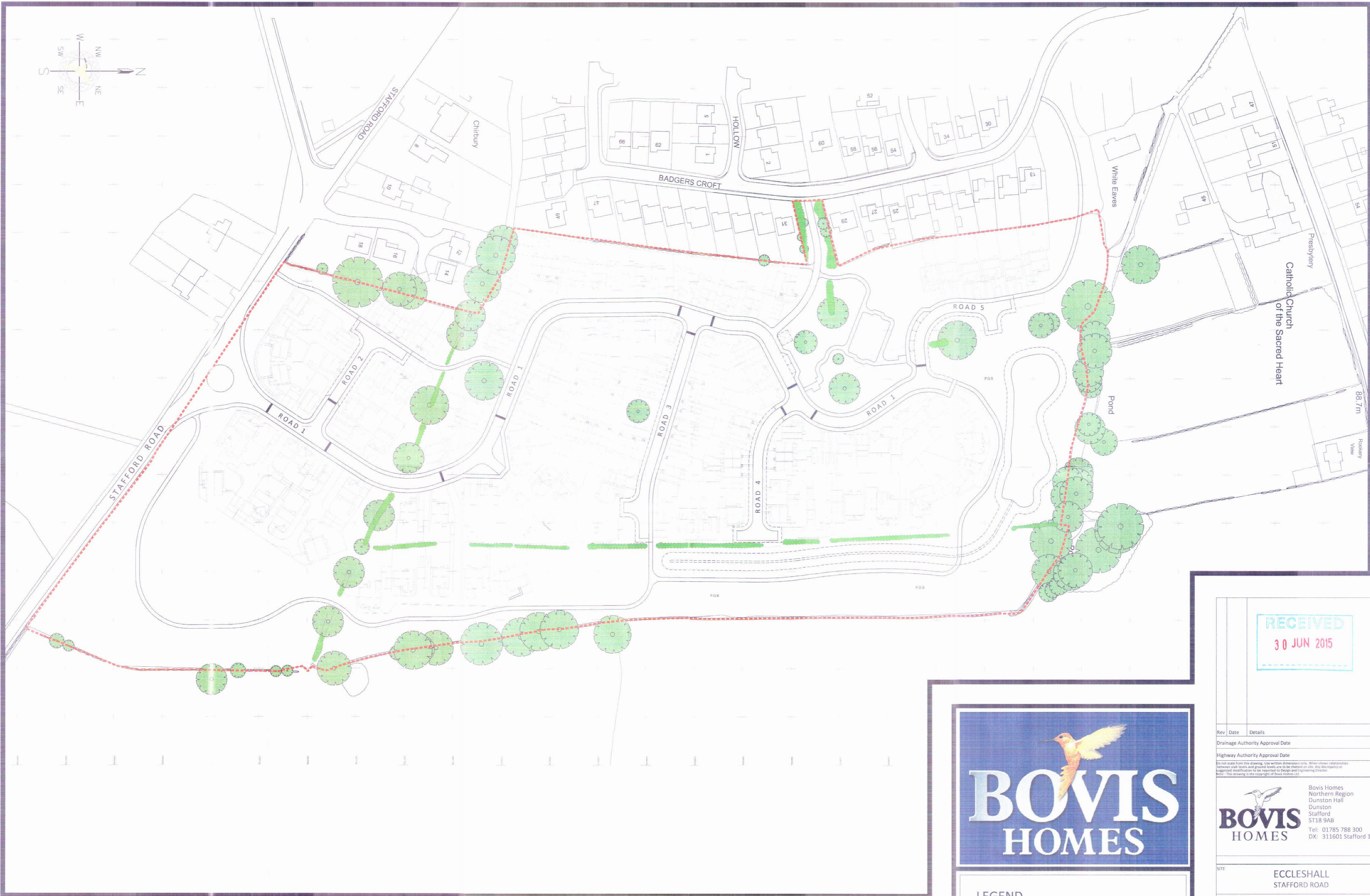
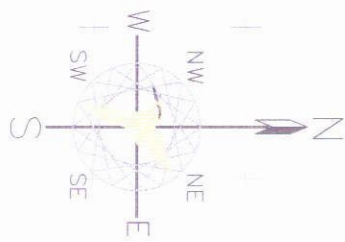
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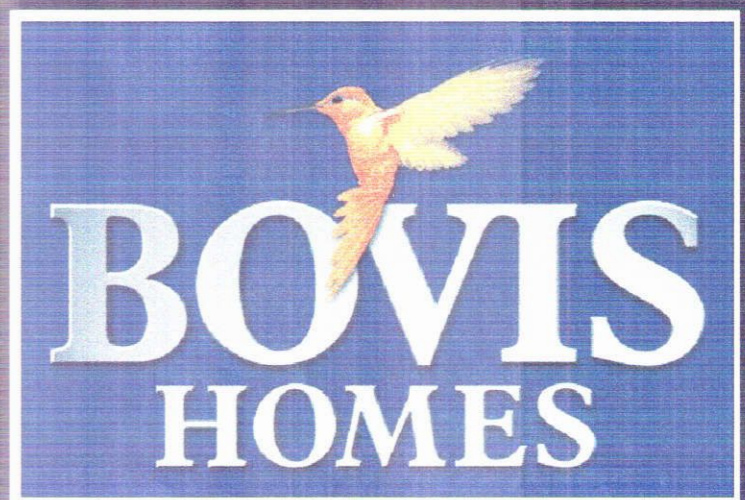
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PERMISSION FOR DEVELOPMENT

Head of Planning and Regeneration
On behalf of the Council



STAFFORD ROAD ~ ECCLESHALL



LEGEND

— BOUNDARY OF SITE OWNERSHIP

RECEIVED
30 JUN 2015

Rev	Date	Details	By

Drainage Authority Approval Date
Highway Authority Approval Date

Do not scale from this drawing. Use written dimensions only. When shown relationships between slab levels and ground levels are to be checked on site. Any discrepancies or suggested modification to be reported to Design and Engineering Director.
Note: This drawing is the copyright of Bovis Homes Ltd.

SITE		ECCLESHALL STAFFORD ROAD	
DRAWING TITLE		LOCATION PLAN	
DRAWN BY	DATE	DRAWING NO.	REV
XX	MAY 2015	ECCL-02-001	-
SCALE:	CHECKED / DATE		
1:1250 @ A2			

BOVIS HOMES
Bovis Homes Northern Region
Dunston Hall
Dunston
Stafford
ST18 9AB
Tel: 01785 788 300
DX: 311601 Stafford 10



Richborough Estates Ltd	Date Registered	25 June 2014
C/O Pegasus Group		
FAO Mr Neil Cox	Decision Date	14 November 2014
5 The Priory		
Old London Road	Issued Date	14 November 2014
Canwell		
Sutton Coldfield		
West Midlands		
B75 5SH		

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

Application No:	14/20665/OUT
Proposed Development	Residential development up to a maximum of 130 dwellings, public open space, green infrastructure and associated works
Location	Land At Stafford Road Eccleshall Stafford
O. S. Reference:	383819 328861

Stafford Borough Council, in pursuance of powers under the Town and Country Planning Act, hereby permits the above development in accordance with the accompanying plans and subject to the following conditions :-

1. Application for approval of the reserved matters shall be made to the Local Planning Authority before the expiration of two years from the date of this permission.
2. This is a grant of outline consent only and before the development is commenced details of the scale, siting, appearance and landscaping of the site, (the reserved matters) shall be submitted to and approved in writing by the Local Planning Authority.
3. The development hereby permitted shall be begun before the expiration of one year from the date of approval of the last of the reserved matters to be approved.
4. This permission relates to the originally submitted details and specification and to the following drawings, except where indicated otherwise by a condition attached to this consent, in which case the condition shall take precedence:-



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PERMISSION FOR DEVELOPMENT

Drawing : BIR.4422_15B - Site Location Plan
Drawing : BIR.4422_22B - Proposed Indicative Masterplan
Drawing no: Figure 3.1 Indicative Stafford Road Site Access Roundabout
Drawing no: Figure 3.2 Badgers Croft Pedestrian, Cycle and Emergency Access

5. No development must take place until the identified discharge point (approx 250mm diameter pipe) as detailed in the FRA (Section 1.8) is surveyed to prove the outflows can pass downstream without increasing flood risk to the proposed development or any neighbouring areas. No development shall take place until the adoption and maintenance of the proposed drainage system is confirmed.
6. The detailed design of the onsite surface water drainage must be submitted for approval to the Local Planning Authority in consultation with the Lead Local Flood Authority prior to the commencement of any development.
7. Prior to the commencement of the development hereby permitted, a written scheme of archaeological investigation ('the Scheme') shall be submitted for the written approval of the Local Planning Authority. The Scheme shall provide details of the programme of archaeological works to be carried out within the site, including post-excavation reporting and appropriate publication and interpretation. The Scheme shall thereafter be implemented in full in accordance with the approved details.
8. All works, including demolition, site works and construction together with any deliveries shall only take place between the hours of 8.00 am and 6.00 pm Monday to Friday; 8.00 am to 2.00 pm Saturdays and not at all on Sundays or bank holidays.



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- The dwellings hereby approved shall not be occupied until the access to the site has been completed.
- The development hereby permitted shall not be commenced until details of the following off-site highway works have been submitted to and approved in writing by the Local Planning Authority:-

The construction of a new roundabout junction on Stafford Road (the A5013) at the access point to the site;

The provision of two cantilever bus shelters with seating and timetable information on Stafford Road adjacent to the site;

The construction of a new pedestrian footway on the southern side of Stafford Road from the junction of Green Lane to the eastern boundary of 13 Stafford Road.

The off-site highway works shall thereafter be constructed in accordance with the approved details prior to the development being first brought into use.

- No development (including works of demolition) shall take place including any works of demolition, until a Highways Construction Method Statement has been submitted to and approved in writing by the Local Planning Authority. The approved Statement shall be adhered to throughout the construction period. The statement shall provide for :-

A site compound with associated temporary buildings;
The parking of vehicles of site operatives and visitors;
Loading and unloading of plant and materials;
Storage of plant and materials used in constructing the development;
Wheel wash facilities.



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12. Prior to first occupation of the development hereby approved, all private parking and vehicle access areas, shall be hard surfaced in a porous material and drained in accordance with a scheme to be first submitted to, and approved in writing by, the Local Planning Authority. The approved scheme shall thereafter be retained for such purposes in perpetuity.
13. No part of the development permitted by this consent shall be occupied until a Travel Plan has been submitted to and approved in writing by the Local Planning Authority. The Travel Plan shall set out proposals (including a timetable) to promote travel by sustainable modes which are acceptable to the Local Planning Authority. The Travel Plan shall be implemented in accordance with the timetable set out in that plan unless otherwise agreed in writing by the Local Planning Authority. Reports demonstrating progress in promoting sustainable transport measures shall be submitted annually on each anniversary, for a period of five years, from first occupation of the development permitted by this consent.
14. All works shall be in accordance with the recommendations set out in the following reports by Just Ecology (June 2014):
 - Ecological Mitigation Strategy;
 - Ecological Appraisal;
 - Hedgerow Assessment;
 - Protected Species Survey.
15. Access to Badgers Croft shall be emergency and pedestrian access only



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PERMISSION FOR DEVELOPMENT

The reasons for the Council's decision to grant permission for the development subject to the above conditions are:

1. The time limit condition is imposed in order to comply with the requirements of Section 91 of the Town and Country Planning Act 1990.
2. The application has been made for outline permission only.
3. The time limit condition is imposed in order to comply with the requirements of Section 91 of the Town and Country Planning Act 1990.
4. To define the permission.
5. To prevent flooding by ensuring the satisfactory storage of/disposal of surface water from the site (Policy N2 of the Plan for Stafford Borough).
6. To prevent flooding by ensuring the satisfactory storage of/disposal of surface water from the site (Policy N2 of the Plan for Stafford Borough).
7. In order to afford proper archaeological investigation recording and protection. (Policy N9 of The Plan for Stafford Borough).
8. To safeguard the amenities of the area. (Policy N1e of the Plan for Stafford Borough).
9. In the interests of the safety and convenience of users of the highway. (Policy T1c of the Plan for Stafford Borough)
10. In the interests of the safety and convenience of users of the highway. (Policy T1c of the Plan for Stafford Borough)



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PERMISSION FOR DEVELOPMENT

11. In the interests of the safety and convenience of users of the highway.
(Policy T1c of the Plan for Stafford Borough)
12. In the interests of the safety and convenience of users of the highway.
(Policy T1c of the Plan for Stafford Borough)
13. In the interests of the safety and convenience of users of the highway.
(Policy T1c of the Plan for Stafford Borough)
14. In order to ensure that the development does not result in damage or harm to legally protected species or their habitat/roost. (Policy N5 of the Plan for Stafford Borough and Paragraph 109 of the National Planning Policy Framework).
15. In the interests of the safety and convenience of users of the highway.
(Policy T1c of The Plan for Stafford Borough).

INFORMATIVE(S)

- 1 The Local Planning Authority consider the proposal to be a sustainable form of development and therefore complies with the provisions of the National Planning Policy Framework.
- 2 That the applicants attention is drawn to the comments of The Highway Authority.



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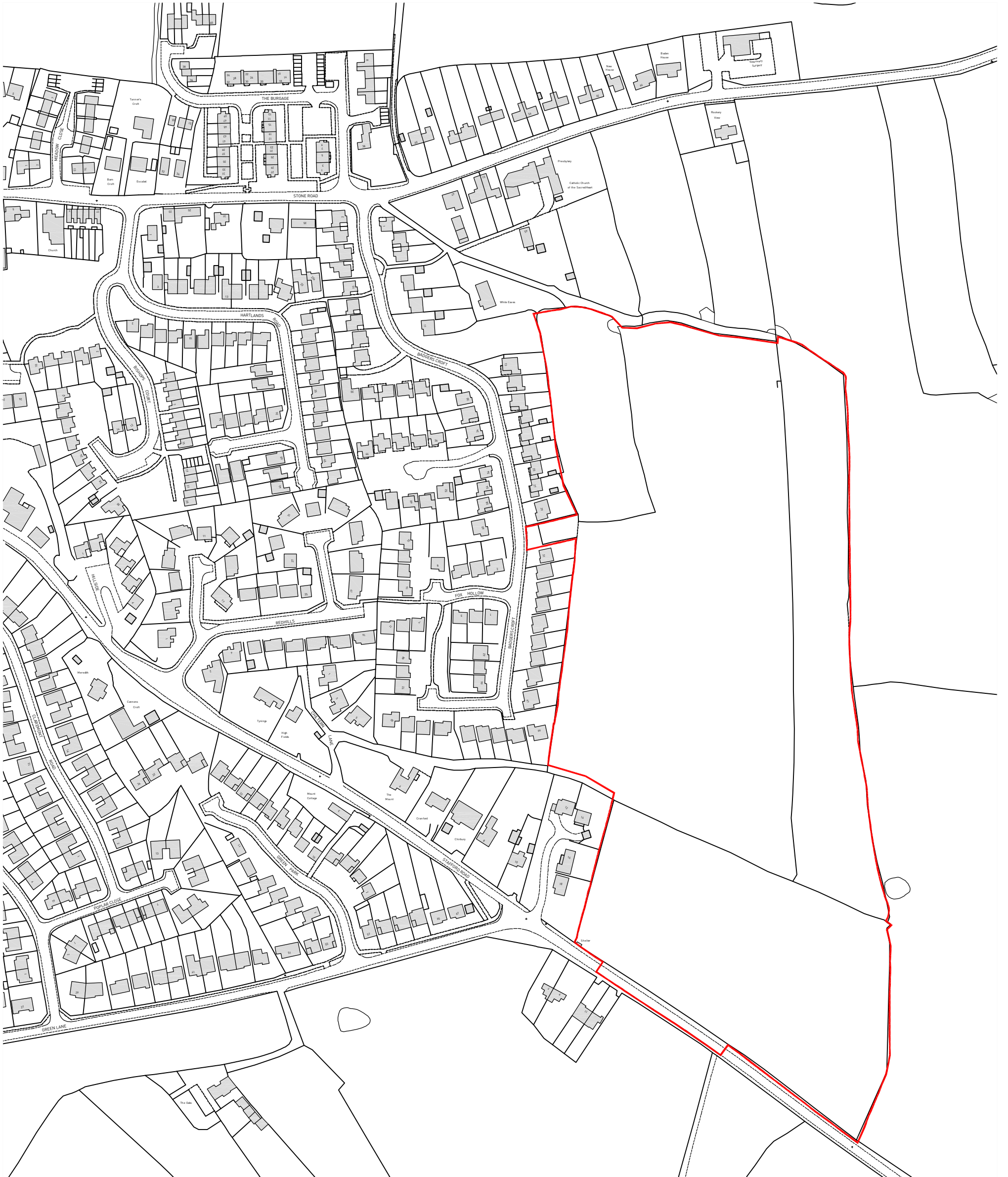
PERMISSION FOR DEVELOPMENT

- 3 That the applicants attention is drawn to the comments of The Council's Tree Officer.

Head of Planning and Regeneration
On behalf of the Council

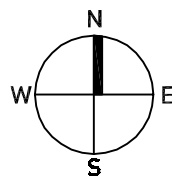
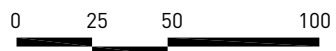
KEY

 SITE LOCATION
23.38 acres/ 9.46 hectares.



REVISION A: 15.05.2014
Red line boundary and area updated in accordance with DDP&S title plan and PTB Transport drawings.

REVISION B: 30.05.2014
Red line boundary and area updated in accordance with PTB drawing 94613000A-Amended V1.



LAND OFF STAFFORD ROAD, ECCLESHALL. SITE LOCATION PLAN.

Application	15/22311/FUL	Case Officer:	Sian Wright
Date Registered	5 June 2015	Target Decision Date	4 September 2015
Address	Land Off Cross Butts Eccleshall Stafford	Ward	Eccleshall
		Parish	Eccleshall
Proposal	Erection of 31 residential dwellings (use class C3 plus access drainage and landscaping)		
Applicant	J Ross Developments Ltd		
Recommendation	Approve, subject to s106 agreement (affordable housing (40%), education (£189,085) and open space and leisure contributions (£28017.49) and maintenance contribution (£3643.12) and Travel Plan monitoring fee (£2250), and subject to conditions		

REASON FOR REFERRAL TO COMMITTEE

This application has been called in by Councillor Pert (Ward Member for Eccleshall) for the following reason:-

"To review the appropriateness and suitability of this location for development."

Context

This is a full application for 31 dwellings on land off Cross Butts in Eccleshall. The site is approximately 1.68ha in size and is undeveloped grassland.

The site is located on the southern edge of Eccleshall and falls within the settlement boundary for Eccleshall and within the boundary of the Eccleshall neighbourhood plan.

It is proposed to provide access to the site from Cross Butts. The site is bounded by existing residential development to the north, including properties known as Crosville, The Cottage, Fairhaven and Pendana and to the east by properties known as Sunny Bank and Woodlands and properties within Romford Meadow and Campion Close. Bishop Lonsdale School is situated to the west of the site and to the south of the site is agricultural land.

The proposed dwellings are essentially located around a central area of open space. 40% of the dwellings proposed are affordable in line with policy C2 (affordable housing) in the Plan for Stafford Borough. The affordable units comprise 12 x 2 storey terraced dwelling situated in the north western corner of the site.

The dwellings proposed across the site comprise the following:
12 x 2 bedroom 2 storey terraced dwellings

2 x 3 bedroom detached bungalows
4 x 3 bedroom 2 storey semi-detached dwellings
3 x 3 bedroom 2 storey detached dwellings
8 x 4 bedroom 2 storey detached dwellings
2 x 5 bedroom 2 storey detached dwellings

The application was originally submitted proposing a larger site area and a total of 49 dwellings. However the southern part of the original application site was situated outside the settlement boundary and outside the boundary for residential development in the Eccleshall neighbourhood plan. The proposal was consequently revised to reduce the site area by omitting the southern section outside the settlement boundary. This consequently led to a reduction to the number of proposed dwellings to a total of 31.

Officer Assessment – Key Considerations

1. Principle of Development

The site is situated within the settlement boundary of Eccleshall which is a Key Service Village identified in the Plan for Stafford Borough. The 11 Key Service Villages are required to accommodate 12% of the overall housing requirements for the Borough over the Plan period, totalling 1,200 new houses.

The site also lies within the boundary for residential development identified in the Eccleshall Neighbourhood Plan. The Eccleshall Neighbourhood Plan has been the subject of independent examination which concluded that subject to modification the Plan can proceed to referendum. Given the stage of preparation the Eccleshall Neighbourhood Plan can be attributed significant weight.

The NPPF has a presumption in favour of sustainable development to proactively drive and support sustainable economic development to deliver homes. Policy SP7 of the Plan for Stafford Borough notes that development of a scale and nature appropriate to secure the sustainability of each settlement, where in the case of housing proposals this is consistent with the delivery of the proportions of development intended by SP2, SP3 and SP4, will be supported within the Settlement Boundaries.

It is considered that the principle therefore of residential development is acceptable subject to consideration of the landscape and visual impact, design, layout, residential amenity, highways, flood risk and other material planning considerations. These matters shall be considered below.

Policies and Guidance:-

National Planning Policy Framework:

Section 6 – Delivering a wide choice of high quality housing

The Plan for Stafford Borough

SP1 Presumption in Favour of Sustainable Development

SP2 Stafford Borough Housing & Employment Requirements
 SP3 Stafford Borough Sustainable Settlement Hierarchy
 SP4 Stafford Borough Housing Growth Distribution
 SP6 Achieving Rural Sustainability
 SP7 Supporting the Location of New Development

Eccleshall Neighbourhood Plan

2. Landscape and Visual impact

A landscape and visual impact (LVIA) assessment has been submitted. This report states that the landscape quality of the area is good. There are no public rights of way within the site. The submitted LVIA related to the original proposal which covered a larger site area and proposed 49 houses. It is reasonable to assume therefore that the reduced site area and fewer houses (31) would not have a greater impact, in fact, the impact should be less significant in landscape and visual terms over that outlined within the LVIA.

The visual analysis undertaken within the LVIA involved assessing 23 viewpoints and the LVIA identifies that in the short term there would be a moderate adverse impact, mainly on the views from dwellings on Cross Butt. The LVIA states however, that in the long term there would be a minor adverse/negligible impact as a result of development proposals.

Mitigation measures are proposed and include:

- Protection of mature trees within the site and on site boundaries;
- Provision of planting on northern edge to screen residences on Cross Butts Lane;
- Provision of additional trees and hedgerow on the western and eastern boundary to help screen development.

The submitted layout plan shows that low level tree/shrub planting to help form a screen for existing properties on Cross Butts would be provided. In addition trees are to be retained to the eastern boundary and the hedge to the western boundary enhanced.

Overall whilst there would inevitably be some impact upon the landscape it has been demonstrated that the development would have an acceptable landscape and visual impact especially given the proposed mitigation measures and the reduced site area and number of dwellings.

Policies and Guidance:-

National Planning Policy Framework:

Paragraph 17 – Core principles

Section 11 – Conserving and enhancing the Natural Environment

The Plan for Stafford Borough -

SP7 Supporting the Location of New Development,

N8 Landscape Character

3. Design, Layout & Residential amenity

The submitted layout plan shows the affordable units in the north-west corner of the site. It is usually recommended that affordable housing units are spread across the development however given that this is a relatively small site, their location in one area is acceptable and would meet the management requirements of the registered social landlord.

Overall the layout of the development is spacious having regard to the Council's Space About Dwellings (SAD) guidance. All properties have private gardens and parking spaces. Two of the proposed dwellings front onto Crossbutts with the remaining open market dwelling essentially located around a central area of open space

There are only a couple of minor breaches of SAD guidance:

- Affordable units numbers 7, 8, 9, 14, 15 & 16 have gardens which are 10m in length and approximately 45sqm in area. This falls below the SAD guidance which recommends garden are 10.5m in length for at least half the width and 65sqm in area. Whilst it is recognised that this does not meet SAD requirements, it is not considered that this shortfall would significantly affect residential amenity especially given the large area of open space in the centre of the development.
- There is a distance of 13.5m between the front elevation of no 23 and the side elevation of no. 21 and between the rear elevation of no. 3 and the side of no. 4 This is however only 0.5m short of the required 14m.
- The front elevations of nos. 4 and 5 are situated less than 6m from the front boundaries. They would however overlook the central green area. In terms of overlooking this would only occur where passers-by make a conscious decision to stop and look which is unlikely.

Whilst minor breaches of SAD are identified, it is not considered that the shortfalls identified significantly affect residential amenity. The development would achieve an acceptable layout which would be in keeping with the character of the area.

It is noted that the property Crossville, which has a short garden area, is situated on land lower than the application site. The distance from the rear of this property to the side elevation of plot no. 11 is however 18m which exceeds the SAD recommendation of 14m. In addition, a revised plan was submitted to relocate the affordable units approximately 2m further from the site boundary than originally submitted. Whilst the differences in land levels are noted, it is considered that the proposed layout would provide an adequate distance to ensure that the dwellings are not overbearing in relation to Crossville. There are no windows proposed to the side elevation of unit 11 therefore there will be no overlooking or loss of privacy.

The designs of the buildings reflect typical, traditional forms with pitched and tiled roofs and brick finishes. Subject to a condition covering the material finishes, such designs would be in keeping with the character of the area.

A noise report was submitted at the request of Environmental Health to indicate the impact of the adjacent all weather pitch at Bishop Lonsdale School on the proposed future occupiers of the development. The report concludes that the proposed development is not expected to have an adverse impact on health or quality of life of future occupiers.

Environmental Health do not raise any objection subject to a condition to secure the mitigation strategy set out in the submitted noise assessment report.

The development would achieve an acceptable design and layout which would be in keeping with the character of the area. The residential amenity of existing neighbour and future occupiers of the development would be acceptable.

Policies and Guidance:-

National Planning Policy Framework:
Section 7 – Requiring good design

The Plan for Stafford Borough:
Policy N1 – Design

Space About Dwellings – Supplementary Planning Guidance

4. Affordable Housing

Policy C2 in the Plan for Stafford Borough states that developments of 12 or more dwellings within Stone, Eccleshall, Gnosall, Woodseaves, Barlaston, Tittensor and Yarnfield must deliver 40% affordable housing.

The development of 31 dwellings is therefore required to deliver 12 affordable homes. The plans indicate that these 12 affordable dwellings would be accommodated on site within one cluster. The response from the Housing Officer states that a total of 13 affordable houses are required as part of this development. The proposed development provides a total of 12 affordable units which equates to 40% of the 31 homes proposed. This is considered to be acceptable. The affordable units would be secured via a s106 agreement.

Policies and Guidance:-

National Planning Policy Framework:
Section 6 – Delivering a wide choice of high quality homes

The Plan for Stafford Borough:
Policy C2 – Affordable Housing

5. Highways and parking

The application is supported by a Travel Plan and a Transport statement. A new access junction is proposed onto Cross Butts to serve the site.

The proposal provides a mixture of detached (single and double) and integral garaging in addition to driveways for the market housing. Parking spaces are also provided for the affordable units in accordance with the Council's parking standards and would be within a courtyard to the front of the properties. The parking provision is considered to be acceptable and meets the requirements set out in the Plan for Stafford Borough.

The Highway Authority do not raise any objections to the new access or the parking provision subject to conditions and a Travel Plan monitoring fee of £2250 to be secured as part of the S106 agreement.

Policies and Guidance:-

National Planning Policy Framework (NPPF)

Section 4 on sustainable transport

The Plan for Stafford Borough

T1 – Transport;

T2 – Parking and Manoeuvring Facilities

6. Biodiversity

The application is supported by a phase 1 habitat survey and a pond and badger assessment.

The Council's Biodiversity Officer does not raise any objections subject to conditions and has made the following comments:

- Two Schwegler style woodcrete nest boxes are installed in appropriate locations.
- Badgers: Prior to commencement of works a check should be made by an ecologist to ensure no badgers have moved into the development area. The precautionary measures during construction should be undertaken as stated in the report.
- Great Crested Newts: The reasonable avoidance measures for Great Crested Newt should be followed as stated in the report.
- Habitat: Any landscaping scheme for hedgerows and tree planting should include native and wildlife attracting species as recommended in the ecological report

Subject to the above the development would therefore not harm the biodiversity interests of the site.

Policies and Guidance:-

National Planning Policy Framework (NPPF)

Section 11 – Conserving and enhancing the natural environment

The Plan for Stafford Borough

Policy N4 - The Natural Environment and Green Infrastructure

7. Flood Risk

The site is entirely located within flood zone 1. The application is supported by a flood risk and drainage assessment. These reports assess the existing flood risk to the application site and establish a regime for surface water management from the site to ensure that flood risk is not exacerbated. The reports state that the application site is considered to be at low risk of flooding from fluvial flooding and from pluvial, sewers, overland flow, groundwater and from reservoir failure.

It is proposed to drain the surface water runoff from the new development via a gravity surface water sewer into a below ground storage tank located within the open space located within the central part of the development. From here the restricted flows would discharge via a gravity sewer into the existing 150mm diameter public surface water sewer located within Cross Butts.

Both the Environment Agency (EA) and the Lead Local Flood Authority have been consulted and raise no objections subject to conditions.

Policies and Guidance:-

National Planning Policy Framework (NPPF)

Section 10: Meeting the challenge of climate change, flooding and coastal change

The Plan for Stafford Borough

SP7 Supporting the Location of New Development,

N2 Climate Change

8. Trees

The application is supported by an arboricultural impact assessment which assesses the amenity value of trees on the site and the impact of the development. The most notable trees on site are an existing strip of trees to the eastern boundary which provide a buffer between the existing dwellings on Campion Close and Romford Meadow from the site. These trees are protected by a blanket TPO. There is also established hedgerow to the western boundary.

The Tree Officer does not raise any objections to the proposal and comments that the proposed trees to be removed are situated at the point of the proposed access onto Cross Butts Road and that the trees in this location are young specimens with minimal arboricultural value. The location of the mature tree stock is located in such a position as being retainable. Conditions are recommended to ensure the retained trees are hedgerow are protected and safeguarded.

Policies and Guidance:-

National Planning Policy Framework (NPPF):

Section 11: Conserving and enhancing the natural environment

The Plan for Stafford Borough

N4 The Natural Environment and Green Infrastructure

9. Planning obligations

A S106 agreement would be required to secure affordable housing (40%), education (£189,085) and open space and leisure contributions (£28017.49) towards offsite play

equipment as the village green does not include an equipped play area and a maintenance contribution (£3643.12) and a Travel Plan monitoring fee (£2250). These contributions comply with the CIL regulations and are related to the infrastructure requirements of the development and meet the tests set out at paragraph 204 of the NPPF. The applicant has agreed to pay these contributions.

Policies and Guidance:-

National Planning Policy Framework (NPPF):
Paragraph 204-205

The Plan for Stafford Borough
I1 – Infrastructure Delivery Policy

10. Conclusion

The site is in a sustainable location within the settlement boundary for Eccleshall a key service village and within the boundary for residential development identified in the Eccleshall Neighbourhood Plan.

The layout is spacious and meets SAD guidelines to an acceptable standard. There are no objections from technical consultees.

Consultations

Parish Council (PC): latest response dated 9th December:

Eccleshall Parish Council notes that the concerns raised previously have been addressed in this amended application with lower screen planting and the re-siting of the terrace block.

The mitigation strategy presented by the developers for plots 21 and 22 as identified in the noise survey seems to cover any issues.

However, the Parish Council acknowledges the concerns of the residents of Bueno Vista concerning the ground water and existing land drainage and requests the Borough Council to ensure that a means of addressing the ground water issue is incorporated in the design of the site drainage.

Previous comments dated 22nd October:

Parish Council has no objections to the above application in principle, providing the following matters are addressed:-

- The 12 terraced houses in the corner of the plot should be moved back at least 2 metres from the boundary to give more space to the south facing elevations of the existing houses on Cross Butts. The gardens of the existing houses are of a substandard size, which is countered by the open fields at the rear of the properties. Any planting should be low level to minimise shadowing of these rear gardens.
- A new Transport Report is required as the existing one is outdated. The evaluation should include traffic calming measures on Newport Road and improvements to the junction of Cross Butts with the A519, which would be significantly affected by the increased number of dwellings.

- A Section 106 agreement towards the provision of Teenage Recreational Facilities within Eccleshall Parish.

Highway Authority (HA): No objections subject to conditions

Biodiversity Officer: No objections, recommends that two Schwegler style woodcrete nest boxes are installed in appropriate locations.

Badgers: Prior to commencement of works a check should be made by an ecologist to ensure no badgers have moved into the development area.

The precautionary measures during construction should be undertaken as stated in the report.

Great Crested Newts: The reasonable avoidance measures for Great Crested Newt should be followed as stated in the report.

Habitat: Any landscaping scheme for hedgerows and tree planting should include native and wildlife attracting species as recommended in the ecological report

Environmental Health: The content of the land contamination report is accepted and the recommendations are satisfactory for our purpose. No further actions are recommended to deal with land contamination.

Noise report: No objections to the application subject to the following conditions being attached:

The Mitigation Strategy in Section 6 page 15 of the WYG Planning and Environment Noise Assessment Report dated November 2015 should be implemented.

The following conditions are recommended in order to safeguard nearby residential occupiers from undue disturbance during development:

- All works, including demolition, site works and construction shall only take place between the hours of 8.00am and 6.00pm Monday to Friday; 8.00am to 2.00pm Saturdays and not at all on Sundays or bank holidays.
- Deliveries to the site shall only take place between the hours of 8.00am and 6.00pm Monday to Friday; 8.00am to 2.00pm Saturdays and not at all on Sundays or bank holidays. Delivery vehicles shall not park on the access highways to the site.
- There should be no burning on site during development
- All demolition materials shall be removed from site and properly disposed of.
- Facilities shall be provided at the site and used when necessary for damping down to prevent excessive dust. Road sweeping shall be carried out at regular intervals, both on the site and on the access highway to prevent excessive dust.
- Any equipment which must be left running outside the allowed working hours shall be inaudible at the boundary of occupied residential dwellings.
- Screening shall be provided to the site to protect residential dwellings from exposure to excessive noise. Details of such work shall be agreed with the local authority and carried out before other works begin.

Tree Officer: I have no objection to the proposal in principle. The proposed tree removals are situated at the point of the proposed access onto Cross Butts Road, the trees in this location are young specimens with minimal arboricultural value, species present include;

ash and sycamore. The location of the mature tree stock is located in such a position as being retainable within any scheme.

However an updated Tree Protection Plan will be required to indicate the protection of the existing hedge line in the west of the site.

Lead Flood Authority: No objections subject to conditions

Environment Agency: No comments

Police Architectural Liaison Officer:

Recommendations for secure by design. Makes recommendations in relation to landscaping, street lighting, dwelling boundaries, car parking, play area, doors, garages, windows, alarms and drainpipes.

Staffordshire County Education:

The development falls within the catchments of Sir Graham Balfour High School, Stafford and Bishop Lonsdale CE (VC) Primary School, Eccleshall.

The revised development is scheduled to provide 31 dwellings which will include 12 affordable homes.

Excluding the 12 affordable dwellings from secondary only, a development of 31 houses (19 for secondary) could add 7 primary school places, 3 secondary school places and 1 sixth form place.

Further work has been carried out between the School Organisation Team and Stafford Borough Council in relation to the Local Plan and rather than being a 'per dwelling' calculation for a secondary education contribution, it is now on a 'per pupil' basis (including sixth form). Therefore the proportionate cost at secondary level should now be 4 pupils x £27,967 = £111,868.

This development would add 7 primary school places. The calculated education contribution for primary school places would be £77,217 (7 x £11,031).

The above primary school contribution is based on 2008/09 cost multipliers which are subject to change.

This gives a total education contribution of £189,085.

County Archaeologist: No response received.

Leisure Services:

It is noted that a village green has been shown on the plan, whilst we are happy with this provision, we still require the offsite contribution towards play equipment as the village green does not include an equipped play area.

Housing Officer:

Policy C2 in the Plan for Stafford Borough states that developments of 12 or more dwellings within Stafford, Hixon, Great Haywood, Little Haywood, Haughton and Weston must deliver 30% affordable housing.

Policy C2 in the Plan for Stafford Borough states that developments of 12 or more dwellings within Stone, Eccleshall, Gnosall, Woodseaves, Barlaston, Tittensor and Yarnfield must deliver 40% affordable housing.

Other areas of the borough are expected to deliver 30% affordable housing in developments of 3 or more dwellings.

This development of 31 dwellings is therefore required to deliver 13 affordable homes.

(Officer Notes: 40% of 31 equates to 12.4. It is considered unreasonable to round the figure to 13 as suggested by the Housing Officer; as such 12 affordable units are to be provided).

Neighbours: (49 consulted) - 16 letters of objection received from 9 addresses. The objections raised are summarised as follows:

- Properties are still too close to existing dwellings on Cross Butts
- Development does not add anything positive to the area
- Impact upon bats
- Loss of rural aspect
- Erosion of local character
- Additional traffic/ highway safety issues
- Loss of sunlight
- Impact upon trees
- Loss of mature hedgerow
- Impact upon local school, doctors surgery and other infrastructure which is at breaking point
- Drainage and possible flooding issues
- Gardens at Cross Butts are at a lower level, proposed houses would be overbearing and oppressive
- This is the only field that the school could expand into
- Overdevelopment in Eccleshall
- Impact upon protected species
- Housing is out of character
- Inaccuracies of existing houses on the submitted plans
- Concerns raised about utilities, particularly power
- Increased noise and vehicle fumes
- Affordable houses are densely packed in
- Traffic congestion

Relevant Planning History

None relevant to this application

Recommendation

Approve, subject to s106 agreement (affordable housing (40%), education (£189,085) and open space and leisure contributions (£28017.49) and maintenance contribution (£3643.12) and Travel Plan monitoring fee (£2250), and subject to conditions:

1. The development to which this permission relates must be begun not later than the expiration of three years beginning with the date on which this permission is granted.
2. This permission relates to the originally submitted details and specification and to the following drawings, except where indicated otherwise by a condition attached to this consent, in which case the condition shall take precedence:-

Site Location Plan 1320_P_SA_01 A

Existing Site Layout / Survey 1320_P_SA_02 A

Site Analysis Plan 1320_P_SA_03 A

Proposed Site Layout 1320_P_SA_04 E

Proposed Street Elevations 1320_P_SA_05 C

Affordable Dwellings (plots 6-8) - Ground & First Floor Plans 1320_P(2B-01)(6-8)GA-01

Affordable Dwellings (plots 6-8) - Proposed Elevations 1320_P(2B-01)(6-8)GA-02

Affordable Dwellings (plots 9-11) - Ground & First Floor Plans 1320_P(2B-01)(9-11)GA-01

Affordable Dwellings (plots 9-11) - Proposed Elevations 1320_P(2B-01)(9-11)GA-02

Affordable Dwellings (plots 12-14) - Ground & First Floor Plans 1320_P(2B-01)(12-14)GA-01

Affordable Dwellings (plots 12-14) - Proposed Elevations 1320_P(2B-01)(12-14)GA-02

Affordable Dwellings (plots 15-17) - Ground & First Floor Plans 1320_P(2B-01)(15-17)GA-01

Affordable Dwellings (plots 15-17) - Proposed Elevations 1320_P(2B-01)(15-17)GA-02

Plot 02 - Proposed Floor Plans & Elevations 1320_P(3B-01)GA-01

Plots 4 & 5 (Semi-Detached) - Floor Plans & Elevations 1320_P(3B_01_3B_05)GA-01 A

Plots 18 & 19 (Semi-Detached) - Proposed Floor Plans 1320_P(3B_01_3B_05)GA-02 A

Plots 18 & 19 (Semi-Detached) - Proposed Elevations 1320_P(3B_01_3B_05)GA-03

Plot 3 - Proposed Floor Plans & Elevations (Detached) 1320_P(3B-09)GA-01 A

Plot 20 - Proposed Floor Plans & Elevations (Detached) 1320_P(3B-09)GA-02

Plot 30 - Three bed detached bungalow - Proposed Floor Plan & Elevations 1320_P(3B-15)GA-01 A

Plot 31 - Three bed detached bungalow - Proposed Floor Plan & Elevations 1320_P(3B-15)GA-02

Plot 1 - Four Bed Detached House - Proposed Floor Plans & Elevations 1320_P(4B-02)GA-01 A

Plot 21 - Four Bed Detached House - Proposed Floor Plans & Elevations 1320_P(4B-02)GA-02 A

Plot 29 - Four Bed Detached House - Proposed Floor Plans & Elevations
1320_P(4B-02)GA-03

Plots 23 & 27 - Four Bed Detached House - Proposed Floor Plans 1320_P(4B-03)GA-01 A

Plots 23 & 27 - Four Bed Detached House - Proposed Elevations 1320_P(4B-03)GA-02 A

Plot 25 - Four Bed Detached House - Proposed Floor Plans 1320_P(4B-04)GA-01

Plot 25 - Four Bed Detached House - Proposed Elevations 1320_P(4B-04)GA-02 A

Plot 24 - Four Bed Detached House - Proposed Floor Plans 1320_P(4B-05)GA-01

Plot 24 - Four Bed Detached House - Proposed Elevations 1320_P(4B-05)GA-02

Plot 26 - Four Bed Detached House - Proposed Floor Plans 1320_P(4B-05)GA-03

Plot 26 - Four Bed Detached House - Proposed Elevations 1320_P(4B-05)GA-04

Plot 22 - Five Bed Detached House - Proposed Floor Plans 1320_P(5B-01)GA-01

Plot 22 - Five Bed Detached House - Proposed Elevations 1320_P(5B-01)GA-02 A

Plot 28 - Five Bed Detached House - Proposed Floor Plans 1320_P(5B-01)GA-03

Plot 28 - Five Bed Detached House - Proposed Elevations 1320_P(5B-01)GA-04 A

Single Garage (Detached) - Gable End over doorway - Plans & Elevations
1320_P(SG_01)GA-01

Double Garage (Detached) - Plans & Elevations 1320_P(DG_01)GA-01

Semi-Detached Garages - Pair of Singles - Plans & Elevations
1320_P(SDG_01)GA-01

Semi-Detached Garages - Double & Single - Plots 1 & 3 - Plans & Elevations
1320_P(SDG_02)GA-01

3. The development hereby permitted shall not be commenced until full details of the proposed site access as illustrated on drawing no: 13-00296-PL01 have been submitted to, and approved in writing by, the Local Planning Authority and shall include a Stage 2 Road Safety Audit and details of construction, surface water drainage, street lighting, signing and road markings as deemed necessary by the Highway Authority. The agreed details shall be carried out in full and retained for the duration of the development.
4. The development hereby permitted shall not be commenced until details are submitted and approved in writing by the Local Planning Authority indicating all road construction, street lighting, drainage including longitudinal sections and a satisfactory means of draining roads to an acceptable outfall which shall thereafter be constructed in accordance with the approved drawings.
5. No dwellings shall be occupied until the parking and access to each individual dwelling have been completed as illustrated on drawing 1320 P SA 04 revD
6. No part of the development permitted by this consent shall be occupied until a Travel Plan has been submitted to and approved in writing by the Local Planning Authority. The Travel Plan shall set out proposals (including a timetable) to promote travel by sustainable modes which are acceptable to the Local Planning Authority. The Travel Plan shall be implemented in accordance with the timetable set out in that plan unless otherwise agreed in writing by the Local Planning Authority. Reports demonstrating progress in promoting sustainable transport measures shall be submitted annually on each anniversary of the date of the planning consent to

the Local Planning Authority for approval for a period of five years from first occupation of the development permitted by this consent.

7. No development shall take place, including any works of demolition, until a Construction Method Statement has been submitted to, and approved in writing by the Local Planning Authority. The approved Statement shall be adhered to throughout the construction period. The Statement shall provide for:
 - i) a site compound with associated temporary buildings
 - ii) the routing of construction vehicles to and from the site;
 - iii) the removal of demolition materials from site;
 - iv) the parking of vehicles of site operatives and visitors;
 - v) the loading and unloading of plant and materials;
 - vi) storage of plant and materials used in constructing the development;
 - vii) measures to prevent the deposition of deleterious material on the highway including wheel wash facilities.

8. Notwithstanding any description/details of external materials in the application documents, no development shall be commenced until precise details or samples of the materials to be used in the construction of the external wall(s) and) roof(s) of the building(s) have been submitted to and approved in writing by the Local Planning Authority.

9. No development shall take place until a detailed surface water drainage scheme for the site has been submitted to and approved in writing by the Local Planning Authority in consultation with the Lead Local Flood Authority. The scheme shall subsequently be implemented in accordance with the approved details before the development is completed. The scheme to be submitted shall demonstrate:
 - Surface water drainage system(s) designed in accordance with the Non-statutory technical standards for sustainable drainage systems (DEFRA, March 2015), to include SuDS elements with attenuation, storage and treatment capacities;
 - Limiting the discharge rates generated by all rainfall events up to the 100 year plus 30% (for climate change) critical rain storm to 5.0l/s.
 - Provision of surface water run-off attenuation storage in accordance with the requirements specified in 'Science Report SC030219 Rainfall Management for Developments' (Approximately 500m³ to be located within the central public open space);
 - Detailed design (plans, network details and calculations) in support of any surface water drainage scheme, including details on any attenuation system, and the outfall arrangements. Calculations should demonstrate the performance of the designed system for a range of return periods and storm durations inclusive of the 1 in 1 year, 1 in 2 year, 1 in 30 year, 1 in 100 year and 1 in 100 year plus climate change return periods;
 - Plans illustrating flooded areas and flow paths in the event of exceedance of the drainage system;
 - Provision of an acceptable management and maintenance plan for surface water drainage to include a detailed maintenance schedule and full details of who will be responsible for funding and maintaining the system for the lifetime of the development.

10. Prior to occupation of the first occupation of the dwellings hereby approved, details of at least two Schwegler style woodcrete nest boxes to be installed on the site shall be submitted to and approved in writing by the Local Planning Authority. The details shall include a site location plan indicating where the boxes shall be installed. The boxes shall be installed within one calendar month of the details being agreed and shall be retained.
11. The development hereby approved shall be carried out in accordance with the Mitigation Strategy set out in Section 6 page 15 of the WYG Planning and Environment Noise Assessment Report dated November 2015.
12. All trees, shrubs, hedges and bushes which are to be retained in accordance with the approved plans and particulars shall be protected in accordance with the submitted Tree Protection Plan (Drawing No: ECS/TCP/10/14/01). No works or alterations to existing ground levels or surfaces shall be undertaken within the RPAs without the prior written approval of the local planning authority. No materials, equipment or vehicles are to enter or be stored within the RPAs. No materials that are likely to have an adverse effect on tree health such as oil, bitumen or cement will be stored or discharged within the RPAs. No fires will be lit within 20 metres of the trunk of any tree that is to be retained. All tree protection measures shall be undertaken before any equipment, machinery or materials are brought on to the site for the purposes of the development, and shall be maintained until all equipment, machinery and surplus materials have been removed from the site.
13. Where the approved plans and particulars indicated that specialized construction work is to take place within the Root Protected Area (RPA) of any retained trees, hedgerows or shrubs, prior to the commencement of any development works, an Arboricultural Method Statement (AMS) detailing how any approved construction works will be carried out shall be submitted and agreed in writing by the local planning authority. The AMS shall include details on when and how the works will be take place and be managed and how the trees etc. will be adequately protected during such a process.
14. Before the development is commenced details of the height, type and position of all site and plot boundary walls, retaining walls, fences and other means of enclosure to be erected on the site shall be submitted to and approved in writing by the Local Planning Authority.
15. The approved boundary walls, retaining walls, fences and other means of enclosure approved in pursuance of the immediately previous condition of this permission shall be erected within 3 month(s) of the dwelling(s) being occupied and shall thereafter be retained.
16. Prior to commencement of works a check shall be made by a suitably qualified ecologist to ensure no badgers have moved into the development area. The precautionary measures as set out within the Badger and Pond Report reference 1459 001R dated May 2015 shall be carried out in full during the construction of the development hereby approved.

The reasons for the Council's decision to grant permission for the development subject to the conditions above are:

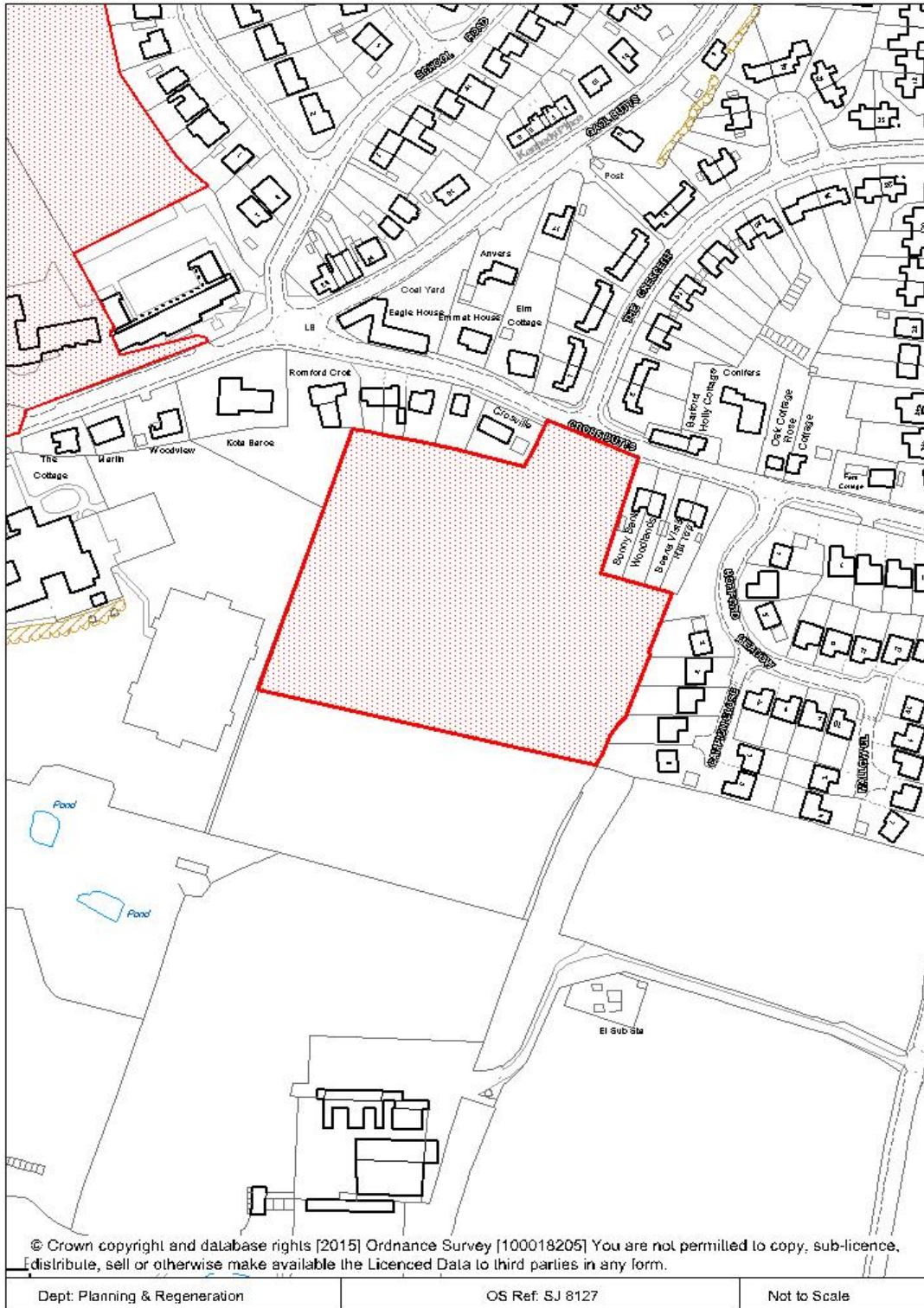
1. To comply with the requirements of Section 51 of the Planning and Compulsory Purchase Act 2004.
2. To define the permission.
3. In the interests of the safety and convenience of users of the highway. (Policy T1c of The Plan for Stafford Borough).
4. In the interests of the safety and convenience of users of the highway. (Policy T1c of The Plan for Stafford Borough).
5. In the interests of the safety and convenience of users of the highway. (Policy T1c of The Plan for Stafford Borough).
6. In the interests of the safety and convenience of users of the highway. (Policy T1c of The Plan for Stafford Borough).
7. In the interests of the safety and convenience of users of the highway. (Policy T1c of The Plan for Stafford Borough).
8. To ensure the satisfactory appearance of the development (Policies N1 g and h of The Plan for Stafford Borough).
9. To prevent the increased risk of flooding; to improve and protect water quality to improve habitat and amenity; and to ensure the future maintenance of the sustainable drainage structures. (Policy N2 of the Plan for Stafford Borough).
10. To provide site enhancement for nesting birds. (Policy N5 of the Plan for Stafford Borough and Paragraph 109 of the National Planning Policy Framework).
11. To safeguard the occupiers of the approved dwelling(s) from undue noise. (Policy N1e of The Plan for Stafford Borough).
12. To safeguard the amenities of the local area and to protect the natural features that contribute towards this and that are important in the appearance of the development.(Policy N4 The Natural Environment and Green Infrastructure).
13. To safeguard and protect the retained natural features that contribute to the amenity of the local area and that are important to the appearance of the development (Policy N4 The Natural Environment and Green Infrastructure)
14. To ensure the satisfactory appearance of the development (Policies N1 g and h of The Plan for Stafford Borough).
15. To ensure the satisfactory appearance of the development (Policies N1 g and h of The Plan for Stafford Borough).

16. To ensure protected species are safeguarded. (Policy N5 of the Plan for Stafford Borough and Paragraph 109 of the National Planning Policy Framework)

Informative(s)

- 1 The Local Planning Authority consider the proposal to be a sustainable form of development and therefore complies with the provisions of the National Planning Policy Framework.
- 2 That the applicants attention be drawn to the comments of the Highway Authority contained in the attached letter.

15/22311/FUL
Land off Cross Butts
Eccleshall
Stafford





Staffordshire County Council	Date Registered	2 September 2010
C/O First City Limited	Decision Date	25 April 2013
FAO Graham Fergus	Issued Date	25 April 2013
19 Waterloo Road		
Wolverhampton		
West Midlands		
WV1 4DY		

TOWN AND COUNTRY PLANNING ACT 1990

PERMISSION FOR DEVELOPMENT

Application No:	10/14168/OUT
Proposed Development	Proposed development for the erection of 82 residential dwellings with ancillary open space
Location	Bishop Lonsdale School Shaws Lane Eccleshall
O. S. Reference:	382624 328734

Stafford Borough Council, in pursuance of powers under the Town and Country Planning Act, hereby permits the above development in accordance with the accompanying plans and subject to the following conditions :-

1. This is an outline planning permission and before the development is commenced details of the scale of all buildings and structures; the appearance of all buildings and structures including materials to be used on all external surfaces; and the landscaping of the site shall be submitted to and approved by the Local Planning Authority.
2. Application for approval of the reserved matters shall be made to the Local Planning Authority before the expiration of three years from the date of this permission.
3. The development hereby permitted shall be begun before the expiration of two years from the date of approval of the last of the reserved matters to be approved.
4. The development authorised by this permission relates to originally submitted plans except in so far as these are amended by the amended drawing number 1043-03 rev G received 14th April 2011.

Stafford Borough Council

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5. The development hereby permitted shall only be carried out in accordance with the approved Flood Risk Assessment (FRA) (Ref: J-B0102_R002 January 2011) and FRA Addendum (Ref: J-B0102_R003 February 2011) and the following mitigation measures detailed within these reports:

The drainage systems will safely contain all flood events up to, and including, the 100 year plus climate change flood event

The discharge rate to the sewer system to the north of the site will be restricted to 5l/s

The discharge rate to the sewer system to the south of the site will be restricted to 15l/s or lower

A boundary drainage system (protecting all existing neighbouring properties), in conjunction with the positively drained system, which will fully alleviate flooding up to the 100 year plus climate change flood event

6. No development shall be commenced until a surface and foul water drainage scheme for the site, based on sustainable drainage principles and an assessment of the hydrological and hydrogeological context of the development, including an associated maintenance programme, has been submitted to and approved in writing by the Local Planning Authority. The scheme shall subsequently be implemented in accordance with the approved details before the development is completed. The scheme shall also include details of how the scheme shall be maintained and managed after completion.
7. No development shall take place within the area of archaeological interest, (unless otherwise first agreed in writing by the Local Planning Authority in accordance with the phasing of the development), until the applicant has secured the implementation of a programme of archaeological work in accordance with a written scheme of investigation which has been submitted to and approved in writing by the Local Planning Authority.

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8. The development shall be carried out in accordance with the scheme of tree protection measures detailed in the Middlemarch environmental Report Dated November 2010.
9. The landscaping scheme to be approved pursuant to condition 1 shall include a schedule of replacement tree planting for which details of the species, size and location of each replacement tree shall be submitted to and approved in writing by the local Planning Authority.
10. Trees identified to be retained and any replacement tree(s) on the site, which die or are lost through any cause during a period of 5 years from the date of first planting shall be replaced in the next planting season.
11. Details to be submitted under condition 1 shall include details of any underground service and drainage routes, including the renewal of any existing underground service and drainage routes, breaching a Tree Rooting Zone shall be submitted to and approved in writing by the Local Planning Authority. Such details shall include the position, means of construction and depth of excavation in relation to those trees identified to be retained. All new service routes within the RPZ of retained trees must be hand dug only and adhere to NJUG Volume 4 (National Joint Utilities Group Publication Volume 4), unless otherwise agreed in writing by the Local Planning Authority. Thereafter such works shall only be carried out in accordance with the approved details.
12. The development shall be implemented in accordance with the Middlemarch Environmental extended Phase 1 Habitat Survey dated March 2010 unless otherwise first agreed in writing by the Local Planning Authority.

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13. The development hereby permitted shall not be brought into use until the following off - site highway works have been constructed in accordance with the approved plans and as broadly indicated on drawings numbers 2233-01 Rev A and 2233-03
- New traffic island junction on Shaws Lane
 - Revised junction layout at Gaol Butts / Cross Butts / School Road junction and associated works;

The above works shall include any addition or revision or kerbing, drainage, street lighting and road markings as to be previously agreed in writing by the Local Planning Authority. The development shall be carried out in accordance with the agreed details.

14. Notwithstanding any details shown on the approved layout plan drawing no. 1043003 Rev F no development shall commence unless and until the following details have been submitted to and approved in writing by the Local Planning Authority;

- Surfacing materials for driveways and parking areas
- All road and footway construction
- Street lighting
- Means of surface water drainage for roads to an acceptable outfall

The development shall thereafter be carried out in accordance with the approved details and be completed prior to the first occupation of the development.

15. No development shall take place, including any works of demolition unless and until a construction method statement has been submitted to, and approved in writing by, the local planning authority. The approved statement shall be adhered to throughout the construction period. The statement shall provide for;
- i) A site compound with associated temporary buildings

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- ii) the parking of site operatives and visitors vehicles
 - iii) loading and unloading of plant and materials
 - iv) storage of plant and materials used in construction
 - v) wheel wash facilities
 - vi) The routing of all site traffic
16. Should the finished surfacing levels of properties fall towards the prospective public highway then before the proposed development is brought into use the access driveways shall be built with surface water interceptors which shall be sited immediately to the rear of the proposed highway boundary, and connected to a surface water outfall and maintained in full operational order for the life of the development.
17. All development works approved by this permission, together with all deliveries to the site in connection with these works shall only take place between the hours of 08:00 and 18:00 on Mondays to Fridays inclusive and between 08:00 and 14:00 on Saturdays and not at all on Sundays and Bank Holidays
18. No burning shall take place on the site during development.
19. No development shall take place unless and until details of facilities to be provided at the site for damping down to prevent excessive dust have been submitted to and approved in writing by the Local Planning Authority. The approved details shall be in place prior to the commencement of development works and shall be retained throughout all construction stages of the development.
20. Notwithstanding any description/details in the application documents and before development commences, screening shall be provided to the site to protect residential properties from exposure to excessive noise from construction works for which details shall first be submitted to and approved in writing by the Local Planning Authority

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21. Before the development is commenced details of the finished floor levels of the proposed buildings including their relationship to the levels of the highway and existing development, shall be submitted to and approved in writing by the Local Planning Authority.

The reasons for the Council's decision to grant permission for the development subject to the above conditions are:

1. The application has been made for outline permission only.
2. The time limit condition is imposed in order to comply with the requirements of Section 91 of the Town and Country Planning Act 1990.
3. The time limit condition is imposed in order to comply with the requirements of Section 91 of the Town and Country Planning Act 1990.
4. To define the permission as amended plans were received after the receipt of the application.
5. To ensure the site is safe from flooding, and fully alleviates the surface water flooding problem already present (up to the 100 year plus climate change event). (Saved Policy E&D50 of the Stafford Borough Local Plan 2001).
6. To ensure that the site is safely and sustainably drained in accordance with the FRA, to prevent the increased risk of flooding, to improve and protect water quality, improve habitat and amenity, and to ensure future maintenance of the surface water drainage system. (Saved Policy E&D50 of the Stafford Borough Local Plan 2001).

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7. In order to afford proper archaeological investigation, recording and protection. (Saved Policy E&D34 of the Stafford Borough Local Plan 2001).
8. To safeguard trees of amenity value. (Saved Policy E&D44 of the Stafford Borough Local Plan 2001).
9. To safeguard trees of amenity value. (Saved Policy E&D44 of the Stafford Borough Local Plan 2001).
10. To safeguard the amenities of the area. (Saved Policy E&D2 of the Stafford Borough Local Plan 2001).
11. To safeguard the amenities of the area. (Saved Policy E&D2 of the Stafford Borough Local Plan 2001).
12. In order to ensure that the development does not result in damage or harm to legally protected species or their habitat/roost. (Paragraph 118 of the National Planning Policy Framework NPPF).
13. In the interests of the safety and convenience of users of the highway. (Saved Policy MV10(a) of the Stafford Borough Local Plan 2001).
14. In the interests of the safety and convenience of users of the highway. (Saved Policy MV10(a) of the Stafford Borough Local Plan 2001).
15. In the interests of the safety and convenience of users of the highway. (Saved Policy MV10(a) of the Stafford Borough Local Plan 2001).
16. In the interests of the safety and convenience of users of the highway. (Saved Policy MV10(a) of the Stafford Borough Local Plan 2001).

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17. To safeguard the occupiers of nearby residential properties from undue noise and general disturbance. (Saved Policy E&D5 of the Stafford Borough Local Plan 2001).
18. To safeguard the area from fumes. (Saved Policy E&D1 (iv) of the Stafford Borough Local Plan 2001).
19. To safeguard the area from excessive dust. (Saved Policy E&D1 (iv) of the Stafford Borough Local Plan 2001).
20. To safeguard the occupiers of nearby residential properties from undue noise and general disturbance. (Saved Policy E&D5 of the Stafford Borough Local Plan 2001)
21. To safeguard the character and appearance of the area. (Saved Policy HOU1 (ii) of the Stafford Borough Local Plan 2001).

INFORMATIVE(S)

- 1 The reasons for the grant of Planning Permission are set out in the 'Issues' section of the attached officer report. Longer reports include a separate 'Summary' section. The report also includes a separate 'Policies' section, which lists the relevant policies taken into account in the determination of the application. This is to comply with the Town and Country Planning (General Development Procedure) (England) (Amendment) Order 2003.
- 2 The applicants attention is drawn to the comments of the Local Highway Authority, Natural England and the Police Architectural Liaison Officer in the attached letters.

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- 3 The Local Planning Authority has worked in a positive and proactive manner in dealing with this application and entered into pre-application discussions with the applicant. Planning Committee deferred consideration of the application to enable the applicant to amend the proposals to address concerns regarding the proposed layout and drainage. The proposals were subsequently amended to address these concerns. It is therefore considered that the proposals meet the provisions of Paragraph 186-187 of the NPPF.

Head of Planning and Regeneration
On behalf of the Council

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Site Location Plan FC/1